



Plan Commission/ Architectural Review Board Meeting
Thursday, February 22, 2024
5:30p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

Meeting Minutes

1. Call to Order, Roll Call: Chairman San Felippo called the meeting to order at 5:36 pm. Commission members present included Steven Masslich, Mike San Felippo, Jeff Schultz, John Schluechtermann, and Peter Lederer. Village employees present included Building Inspector Roger Kison and Clerk/Treasurer Stephanie Waala. For additional attendees see attached sign in sheet.

2. Discussion and Possible Action to approve the February 5, 2024, meeting minutes.

Member Masslich made a motion to approve as submitted, motion was seconded by Member Schultz. Motion carried 5-0.

3. Discussion and Possible Recommendation to approve a residential addition at 41 E Shore Dr.

Homeowner Craig Sternke informed the board that all items are to match the existing.

Member Masslich made a motion to approve as submitted, motion was seconded by Member Schultz. Motion carried 5-0.

4. Discussion and Possible Recommendation to approve a new two-family residence at 515/517 Raybern Ct.

Chairman San Felippo informed the board that the plans are similar to ones already currently built within the subdivision.

Member Schluechtermann requested further clarification on if it has heavier texture shingles as it does not show on the plans. Without that clarification they would not meet the four-point requirement. Contractor Rich Line informed the board that they have heavier texture.

Member Schluechtermann made a motion to approve as submitted with the stipulation it uses heavy dimensional shingles, motion was seconded by Member Schultz. Motion carried 5-0.

5. Discussion and Possible Recommendation to approve a new two-family residence at 540/542 Raybern Ct.

Member Schluechtermann made a motion to approve as submitted with the stipulation it uses heavy dimensional shingles, motion was seconded by Member Schultz. Motion carried 5-0.

6. Discussion and Possible Recommendation to approve a new single-family residence at Lot 7 E Shore Dr.

Chairman San Felippo informed the board that he had previously spoken to the property owner about location of the home on the lot. Contractor Joe Herther informed the board that with the angle of the lot it was tweaked to fit on the lot.

Member Schultz made a motion to approve as submitted, motion was seconded by Member Masslich. Motion carried 5-0.

7. Discussion related to Village Zoning Ordinances.

Chairman San Felippo inquired that in Section 38-69(4) has anyone reviewed this section as the bay windows don't get used so can it be replaced with something else. Member Schluechtermann informed the board that he has reviewed other municipal ordinances, and they don't have this list, but would like to keep it though. Inspector Kison informed the board that some municipalities have some minor checklists, but not as extensive as Random Lakes. Currently he is creating one for the Town of Port Washington for commercial and feels it is a good concept.

Member Schluechtermann inquired as to we don't have a point for multiple roof lines, as credit is only given to garages if the offset is in the rear so could we potentially ass on for a front offset. Chairman San Felippo suggested taking out the bay window and replacing it with "multi directional front facing roof lines". Reminded to also change this in each section for all types of zoning.

Chairman San Felippo inquired as to if apartment buildings with apartments in the basement, are they required to have egress windows. Inspector Kison informed the board that yes, but it varies with distances to exits so it would be a case by case. Also depends upon the age of the home and when it was built.

Chairman San Felippo inquired as to with fencing should they not be allowed in the side yard. Corner lots have a defined front yar to allow the, Currently written both front facing public roads are considered front yards. Member Schluechtermann suggested the setback be increased on the roadside to four feet instead of two.

Member Schluechtermann inquired that in Section 38-46€ related to fencing around swimming pools, this should be reviewed. Clerk Waala informed that board that she believes that fences around pools are a requirement of the state. Chairman San Felippo suggested this be looked into more.

Member Schluechtermann presented to the board a new section he would like to propose related to storage containers. Currently if someone wanted to bring in a moving pod they would not be allowed. This new proposed section would allow them to have storage containers temporarily but after obtaining a permit. Member Masslich inquired as to would this be similar to dumpsters and what is considered temporary.

Potentially add that wording in the section as well. Chairman San Felippo inquired as could the village potentially start requiring dumpsters to be enclosed as well. Director Lederer informed the board that if they do then they must ensure that the dumpster enclosures are not in the right of way.

Member Schultz handed out his summary of findings related to 314 residential lots that aren't compliant due to lot sizes and front setbacks. Additionally, 181 residential lots are possibly non-conforming.

8. Adjourned at 6:25 pm.

Items on the Agenda may be taken out of order as listed. Created by Stephanie Waala on 02/23/2024.

WI Open Meeting Law (Wis. Stat. 19.83(2) and 19.84(2)) In general, the open meetings law grants citizens the right to attend and observe open session meetings of governmental bodies but does not require a governmental body to allow members of the public to speak or actively participate in the body's meeting. A governmental body is free to determine for itself whether and to what extent it will allow citizen participation at its meetings.



Plan Commission Meeting
Monday, February 5, 2024
5:30 p.m.

LOCATION OF MEETING: 96 RUSSELL DRIVE

Meeting Minutes

- 1. Call to Order, Roll Call:** Chairman San Felippo called the meeting to order at 5:30 pm. Commission members present included Steven Masslich, Randy Soerens, Mike San Felippo, Jeff Schultz, Barbara Ruege, and Peter Lederer. John Schluechtermann attended at 5:40 pm. Village employees present included Clerk/Treasurer Stephanie Waala. For additional attendees see attached sign in sheet.

Let it be known there was a quorum of the village board as Duane Urbanski arrived at 5:30 pm. Elizabeth Manian attended virtually at 5:30 pm. Eric Stowell attended at 6:25 pm.

- 2. Discussion and Possible Action to approve the January 15, 2024, meeting minutes.**

Chairman San Felippo made a motion to approve as submitted, motion was seconded by Member Soerens. Motion carried 6-0.

- 3. Discussion and Review related to the village zoning ordinances.**

Chairman San Felippo informed the board he would like to focus on R1 district and then look at other sections. Potentially create a PUD to encompass all changes to cover all potential changes that would pertain to properties.

Member Schultz proposed to the board a change to Section 38.68b, add the word “minimum”. Additionally asked for clarification on Section 38.68(3)(d)(1)(i) as he is unable to interpret. Chairman San Felippo informed the board that his interpretation is that the accessory building needs to be in the rear yard and can this be clarified in the definition of front/rear yard. Member Schultz suggested changing the wording to be “behind principal building”. Chairman San Felippo inquired as should they allow them to be in the side yard.

Member Schultz presented handouts to the board with information about lot sizes within the village. Additionally, presented handouts to the board with general information about homes within the village. Inquired as could these be used to determine which ordinances are important and which are not.

Chairman San Felippo informed the board the intent of the meeting was to review what is currently in place and tweaking it. Then creating another ordinance for all lots this current ordinance does not allow for existing. Member Schluechtermann informed the board that the current is for new not old, and what is expected to clarify wording to help make current move understandable.

Member Schluechtermann inquired as to in section 38.68(3)(c)(5)(iii) and the purpose of this statement. Chairman San Felippo suggested that when a change was made this line must have been put in place.

Member Ruege suggests the clarification of what constitutes being grandfathered in. Are they stuck with what was allowable during that or do they abide by current?

Chairman San Felippo inquired as to section 38.68(3)(d)(1)(i) as to if this should be changed or is it fine the way it is. Member Masslich informed the board that rear yard is defined on page 5. Chairman San Felippo that we could potentially put “refer to definitions page.”

Chairman San Felippo informed the board that they should convene to the next meeting in two weeks. Clerk Waala informed the board there will be a meeting in two weeks because there are some proposals to be presented so put a time slot in for this, but there will be other items on the agenda.

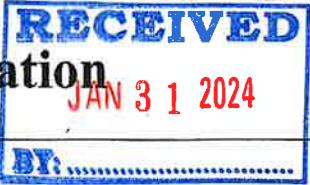
4. Adjourned at 6:30 pm.



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite:

41 East Shore Drive

Craig E. John Sternke

Owner's Name

(same)

Mailing Address (if different from project location above)

Thierfelder Builders, Inc.

Contractor's Name

W51 N740 Keep Rd.

Contractor's Mailing Address

Craig: 414.861.0878

John: 262.424.0014

Phone No.

Bob: 414.254.6142

Sup: 414.254.2227

Phone No.

Cedarburg WI 53012

City, State & Zip Code

suc@thierfelderbuilders.com

Email

DC - 05900635

Dwelling Contractor Certification No.

DCQ - 020800375

Dwelling Contractor Qualifier Certification No.

Please check project type

New**		Addition**	☒	Job Description: master suite addition & lower level finished area
Alteration*		Repair	☐	

Size 21'1" x 36'3" Sq. Ft. 1,472 Height 19' Est. Value of Project \$ 230,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

- 2 sets of paper building plans, 1 set electronic format.
- a list of all materials and colors to be used on the exterior.
- 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
- an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE

Susan Thierfelder

DATE

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

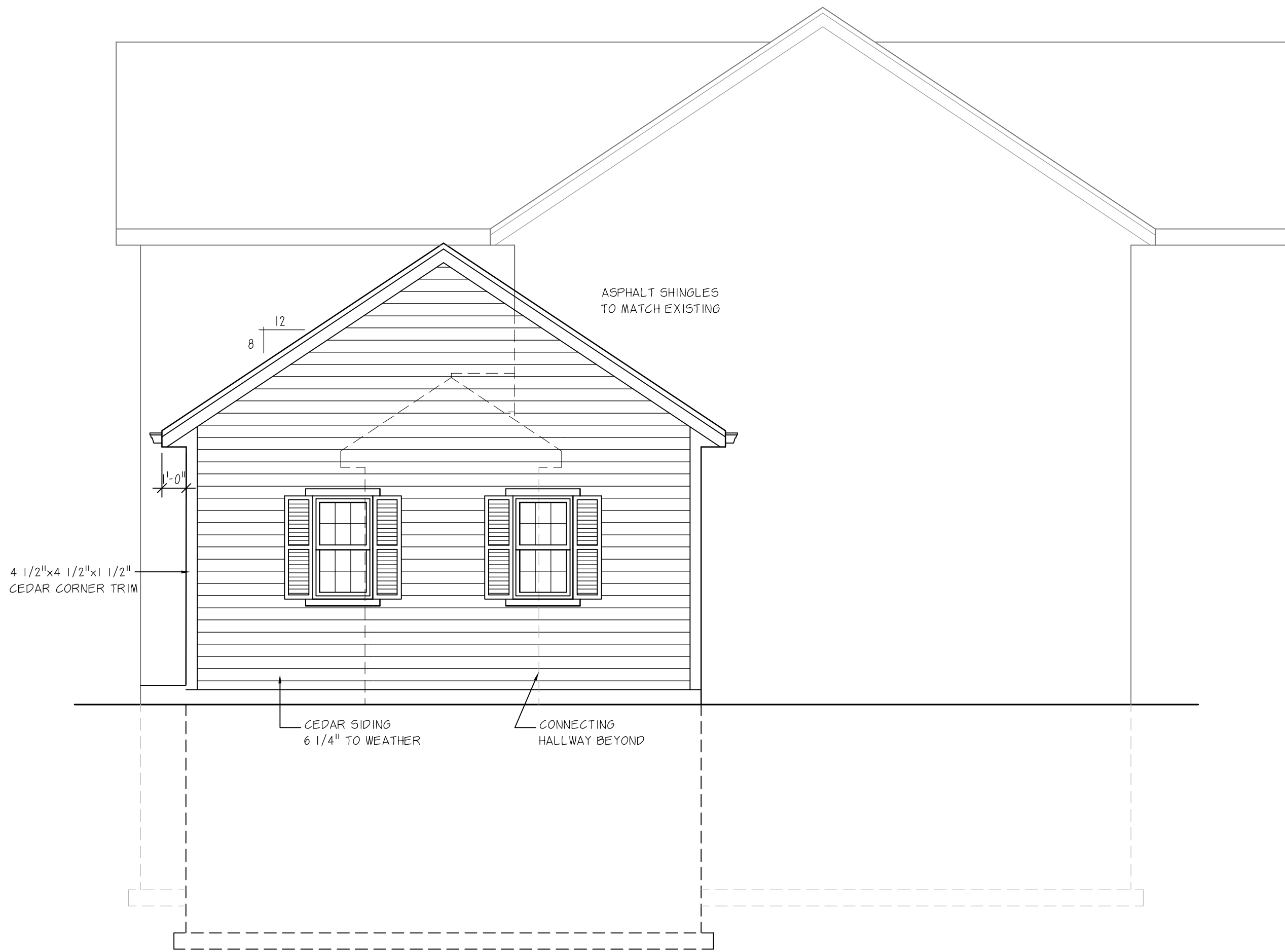
Permit No. _____

FOR OFFICE USE:	CHECK NO. _____	AMT PD _____	DATE _____
PAID BY: _____			

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

NOTE:
FIELD VERIFY ALL
DIMENSIONS AND CONDITIONS REPRESENTED HEREIN.
MAJOR DISCREPANCIES BETWEEN THESE DOCUMENTS
AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED
TO NEW HORIZON VENTURES IMMEDIATELY!!!

PROJECT
ADDITION PLANS FOR:
STERKE RESIDENCE

NEW HORIZON
VENTURES, L.L.C.
ARCHITECTS/PLANNERS
P.O. BOX 292, GRAFTON, WI. 53024
<http://www.nhv-arch.com/>
262-377-4730 or 262-375-2397

JOB NUMBER
STE-2507-723

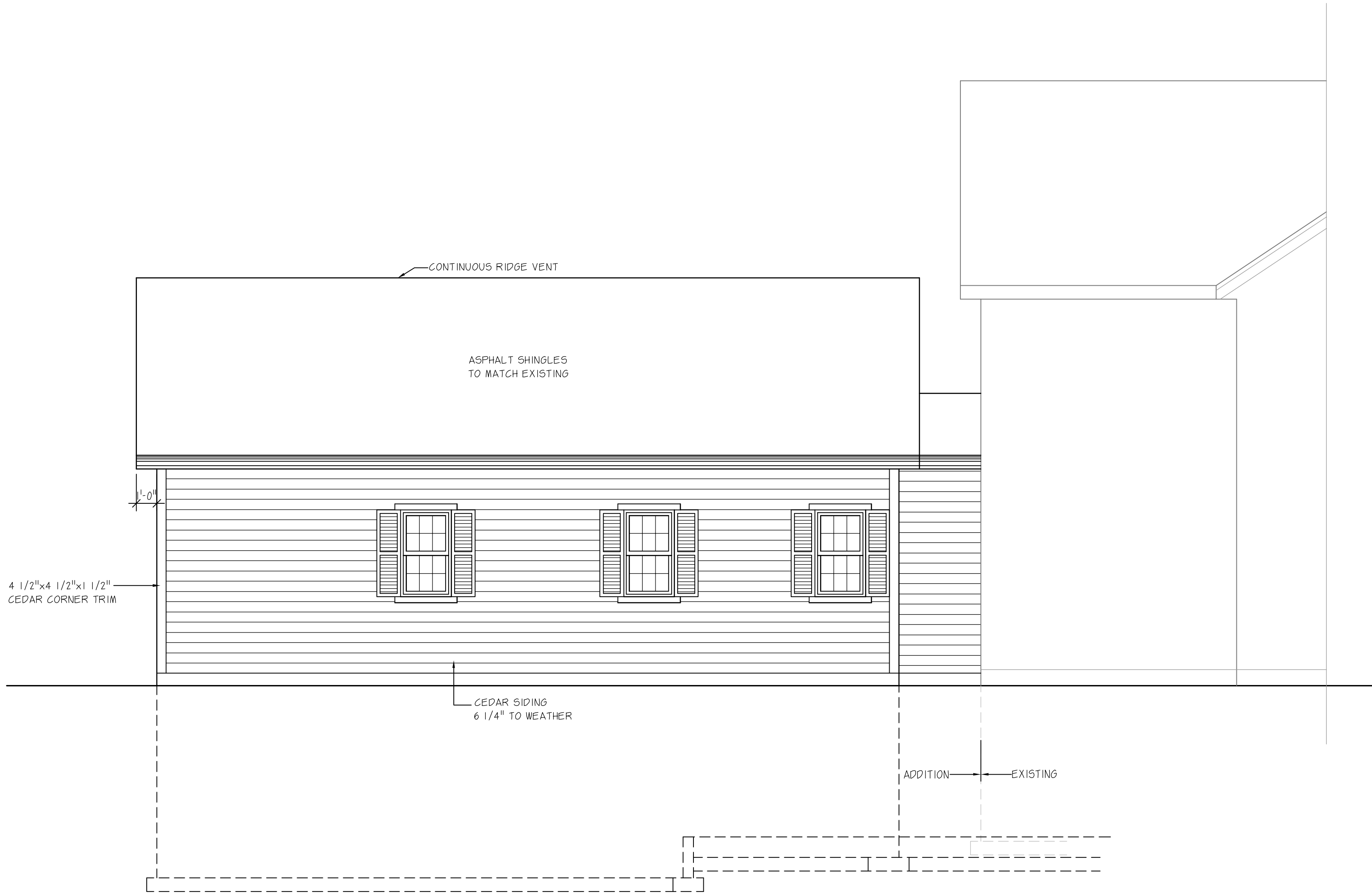
DATE
10/3/2023

REVISIONS:

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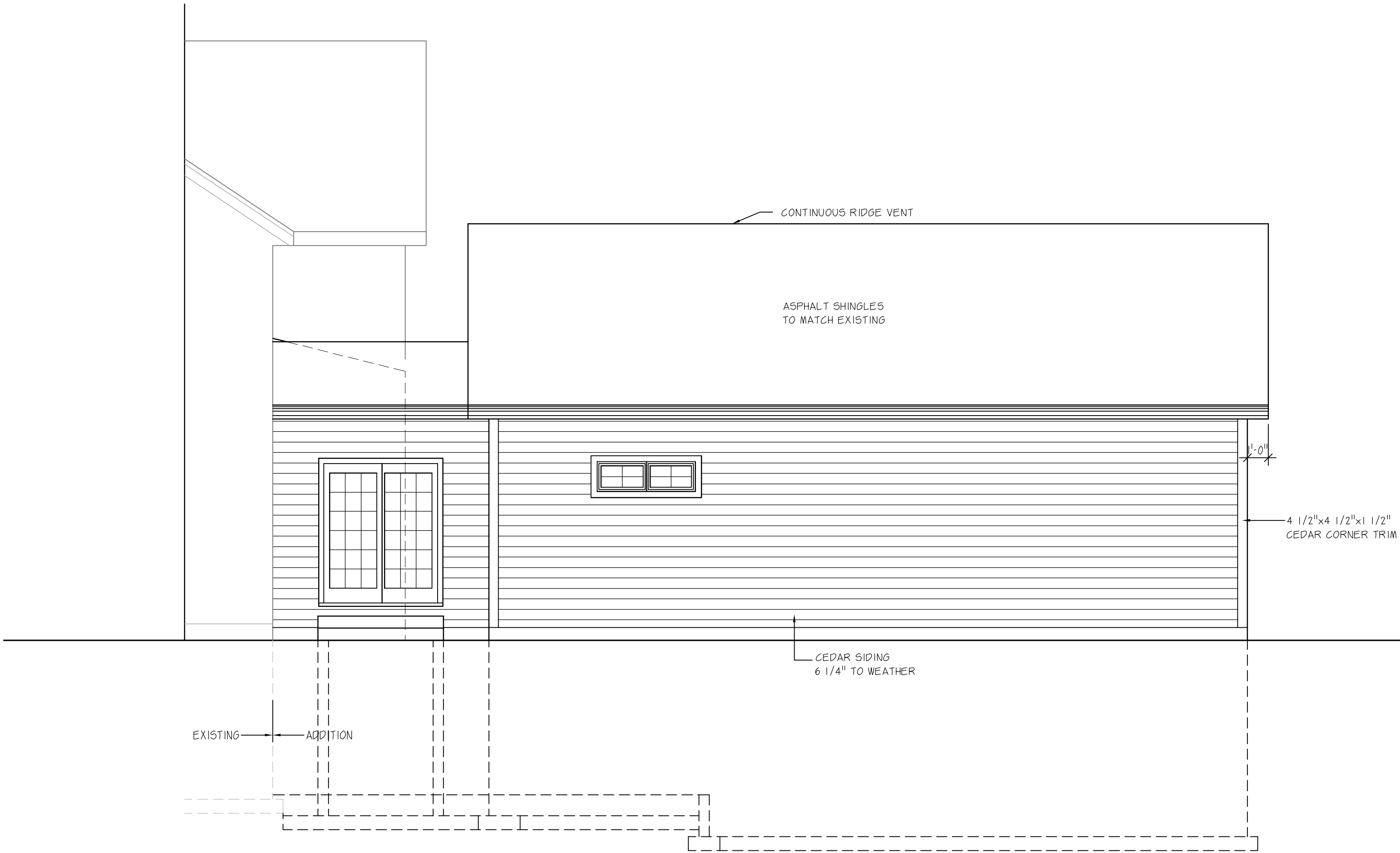
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D.S.

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D.S.



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

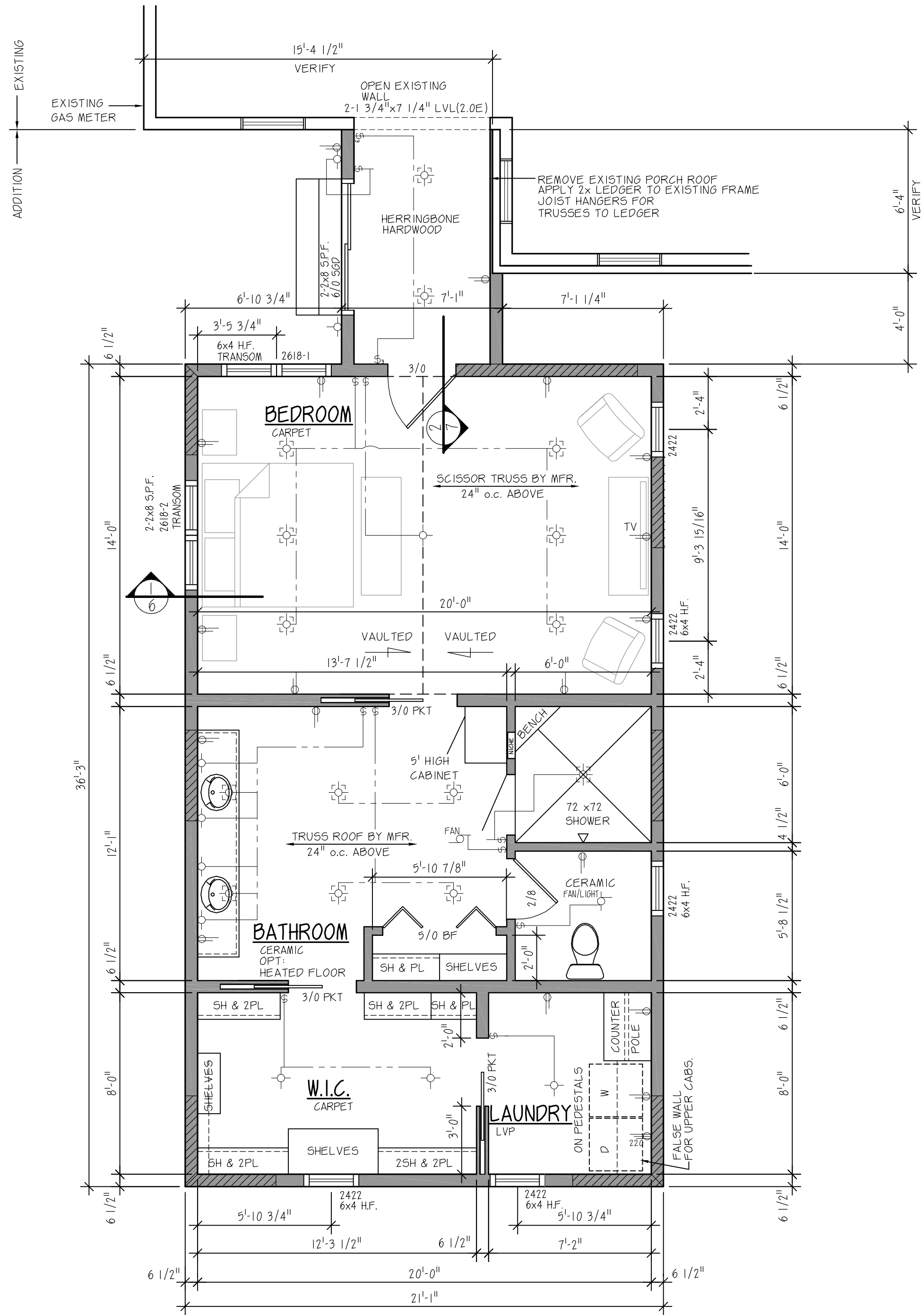
		PROJECT ADDITION PLANS FOR: STERKE RESIDENCE	
JOB NUMBER STE-2507-723		NEW HORIZON VENTURES, L.L.C. ARCHITECTS/PLANNERS	
DATE 10/3/2023		P.O. BOX 292, GRAFTON, WI. 53024 http://www.nhv-arch.com/ 262-377-4730 or 262-375-2397	
SHEET 1 OF 2		REVISIONS:	
CHECKED BY: DJS		DRAWN BY: DJS	



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

		PROJECT ADDITION PLANS FOR: STERKE RESIDENCE	
JOB NUMBER STE-2507-723		DATE 10/3/2023	
SHEET 1 of 3		REVISIONS:	
CHECKED BY: D.S.		DRAWN BY: D.S.	

P.O. BOX 292, GRAFTON, WI. 53024
<http://www.nhv-arch.com/>
262-377-4730 or 262-375-2397



FLOOR PLAN

SCALE: 1/4" = 1'-0" 829 SQUARE FEET

WALL BRACING KEY	
	36" - 48" [8' WALL HT] OR 42" - 48" [9' WALL HT] WOOD STRUCTURAL PANEL SHEATHING OR 1/2" STRUCTURAL FIBERBOARD SHEATHING PER TABLE 21.25-G
	48" OF GYPSUM WALLBOARD (BOTH SIDES)
	SHEATHED 6:1 ASPECT RATIO W/ EXTENDED HEADERS (SEE DETAIL SHT 4)

JOB NUMBER
STE-2507-723

SHEET
4 OF 7

DATE
10/3/2023

CHECKED BY:
D.S.

REVISIONS:
10/4/2023

DRAWN BY:
D.S.

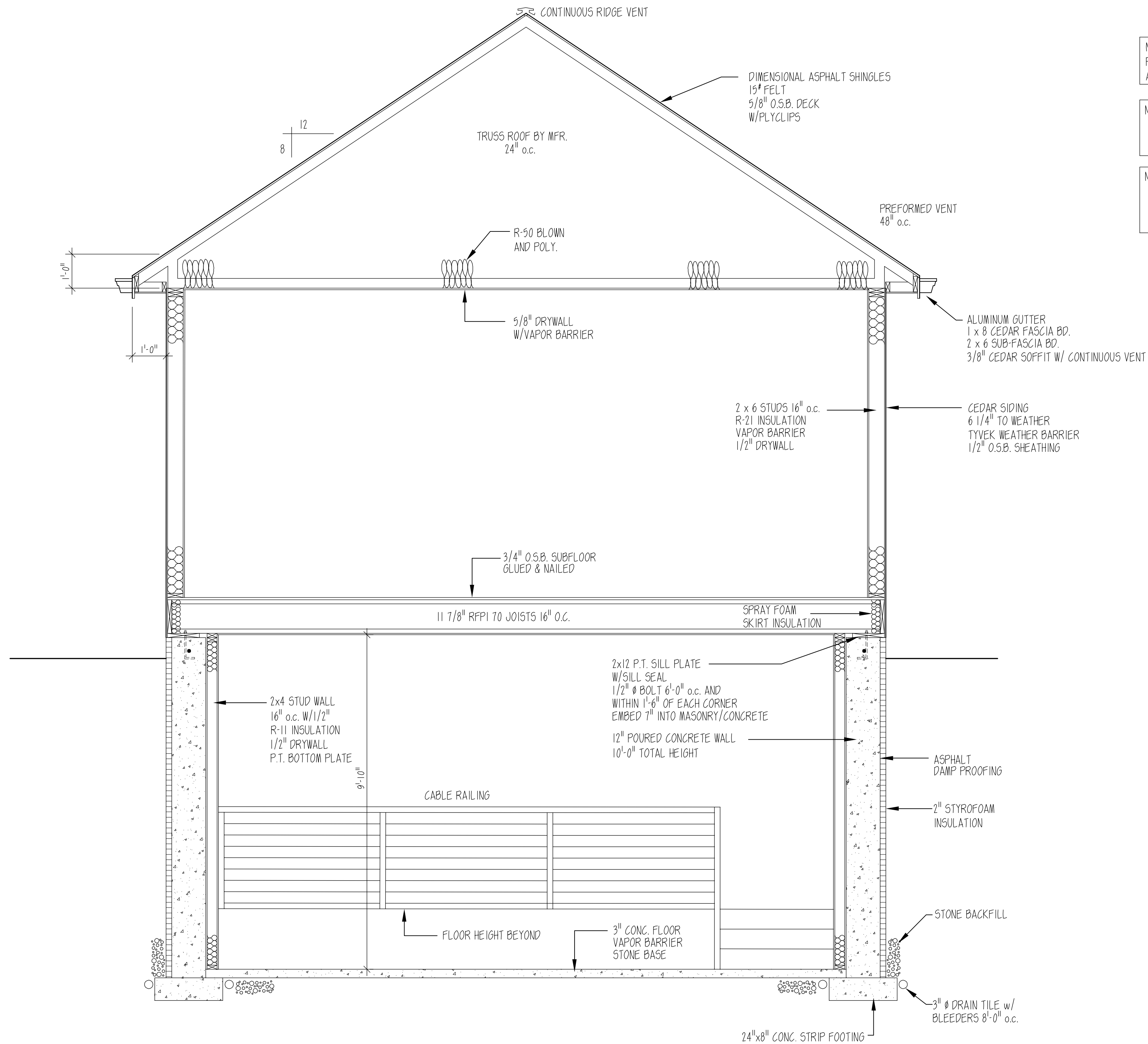
PROJECT
ADDITION PLANS FOR:
STERKE RESIDENCE

NEW HORIZON
VENTURES, L.L.C.
ARCHITECTS/PLANNERS

P.O. BOX 292, GRAFTON, WI. 53024
<http://www.nhv-arch.com/>
262-377-4730 or 262-375-2397



SCALE: $1/4'' = 1'-0''$



NOTE:
PROVIDE AND INSTALL RAFTER CLIPS
AT ALL RAFTER AND TRUSS ENDS.

NOTE:
CARPENTER CONTRACTOR TO
FOLLOW MANUFACTURERS INSTALLATION
DETAILS FOR MANUFACTURED JOISTS

NOTE:
FINAL TRUSS LAYOUT BY TRUSS MFR.
VERIFY ALL BEARING POINTS
TRUSS MFR. TO DESIGN AND PROVIDE
ALL TRUSS HANGERS

SECTION 1

SCALE: 1/2" = 1'-0"

PROJECT
ADDITION PLANS FOR:
STERKE RESIDENCE

**NEW HORIZON
VENTURES, L.L.C.**
ARCHITECTS/PLANNERS
P.O. BOX 292, GRAFTON, WI. 53024
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262-377-4730 or 262-375-2397

JOB NUMBER
STE-2507-723

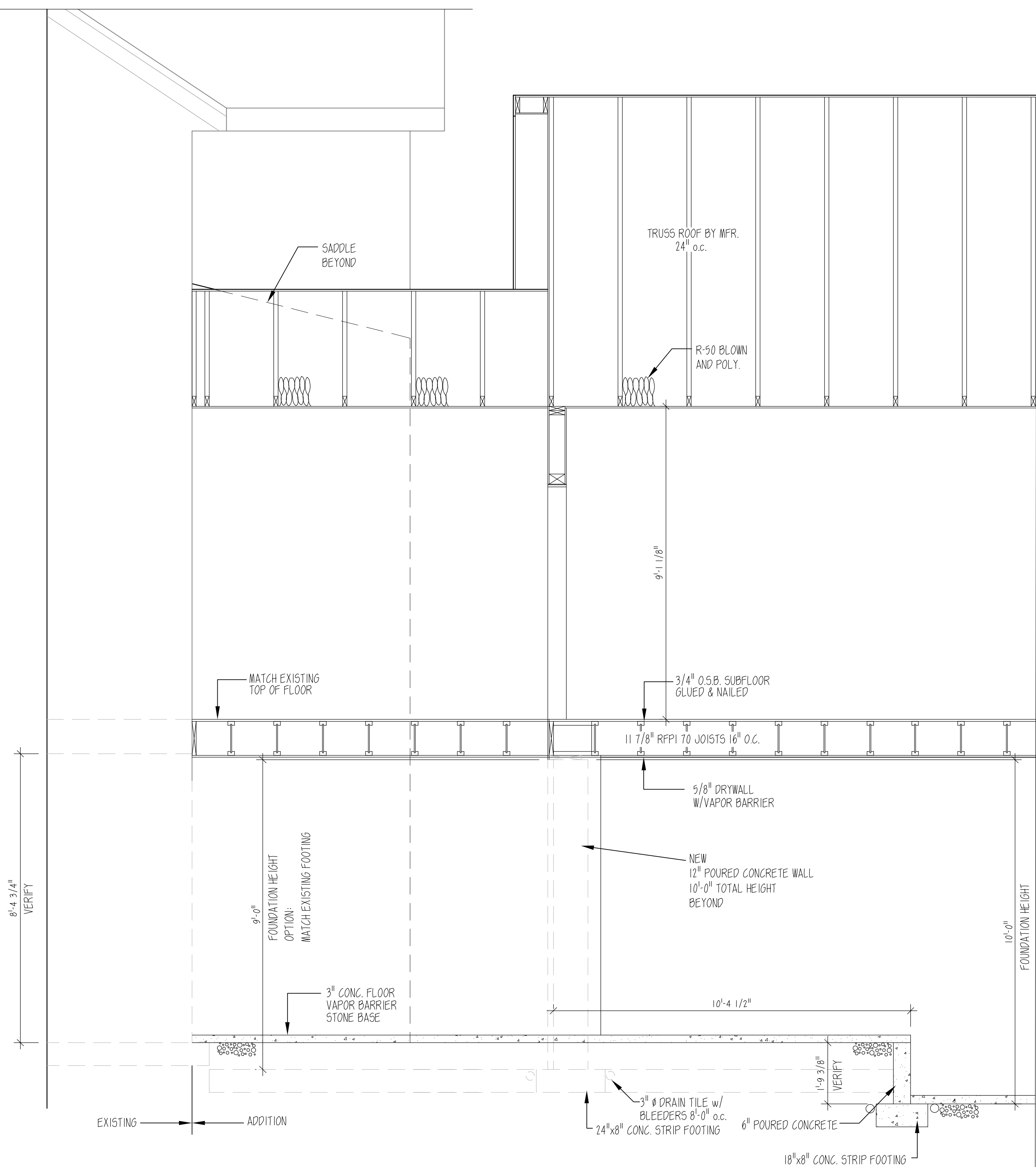
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10/3/2023

REVISIONS:

SHEET
1 OF 6

CHECKED BY:
D.S.

DRAWN BY:
D.S.



NOTE:
PROVIDE AND INSTALL RAFTER CLIPS
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NOTE:
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FOLLOW MANUFACTURERS INSTALLATION
DETAILS FOR MANUFACTURED JOISTS

NOTE:
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VERIFY ALL BEARING POINTS
TRUSS MFR. TO DESIGN AND PROVIDE
ALL TRUSS HANGERS

SECTION 2

SCALE: 1/2" = 1'-0"

PROJECT
ADDITION PLANS FOR:
STERKE RESIDENCE

**NEW HORIZON
VENTURES, L.L.C.**
ARCHITECTS/PLANNERS
P.O. BOX 292, GRAFTON, WI. 53024
<http://www.nhv-arch.com/>
262-377-4730 or 262-375-2397

JOB NUMBER
STE-2507-723

DATE
10/3/2023

REVISIONS:

SHEET
7
OF
9

CHECKED BY:
D.S.

DRAWN BY:
D.S.



CRAIG & JOANN STERNKE RESIDENCE

41 EAST SHORE DRIVE, RANDOM LAKE

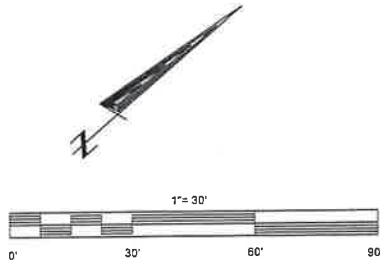
EXTERIOR COLORS TO MATCH EXISTING COLORS
AS CLOSELY AS POSSIBLE

PICTURES OF EXISTING HOME

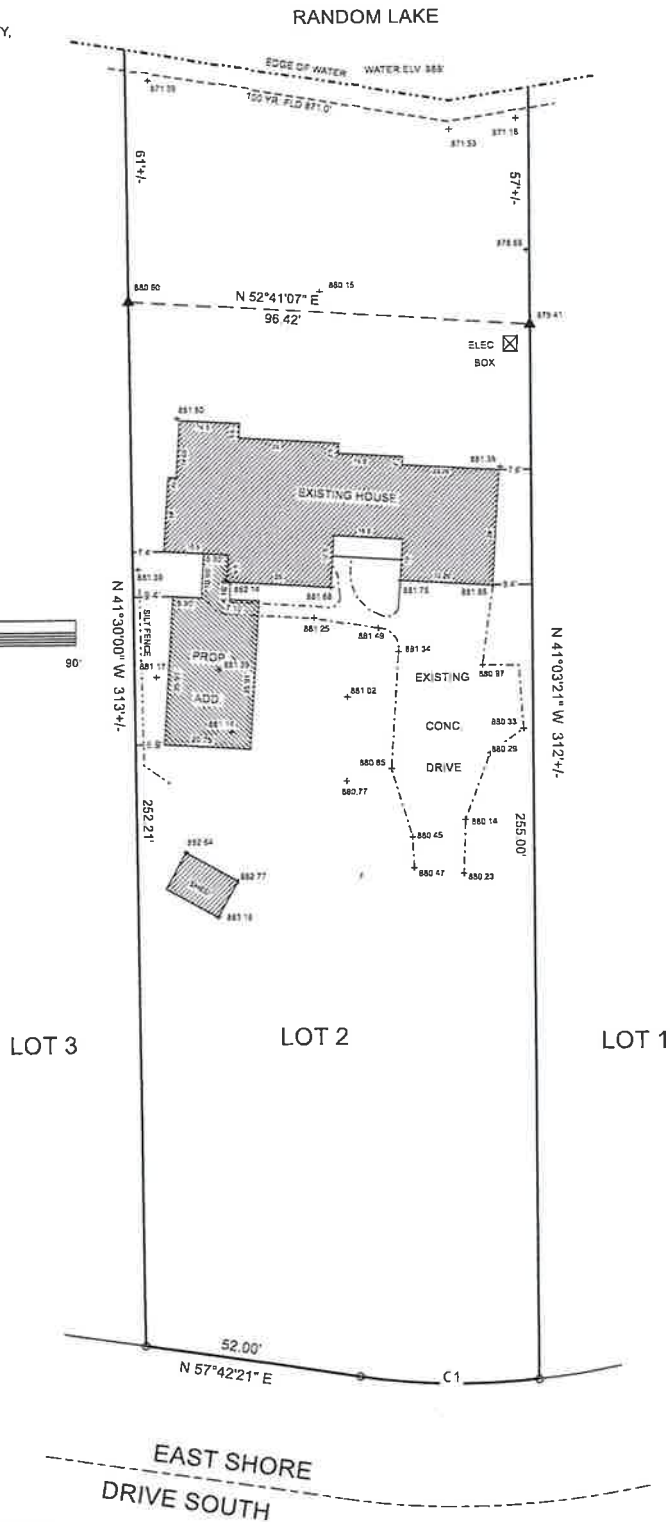


D & H LAND SURVEYS LLC
1628 GEORGIA AVENUE
SHEBOYGAN, WISCONSIN

41 EAST SHORE DRIVE
PARCEL 59176746463
BEING LOT 2 OF HICKORY GLEN SUBDIVISION,
VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY,
WISCONSIN.



- O = 1" IRON PIPE SET
 - ▲ = 1 1/2" REBAR FOUND
 - + = EXISTING GRADE
- LOT AREA 30,000 SQ FT +/-
EXISTING HOUSE 2,300 SQ FT
PROPOSED ADD 811 SQ FT



THIS IS TO CERTIFY THAT THE INFORMATION SHOWN HEREON
IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

[Signature]
Dennis J. Van Sluys S-12356

CURVE	ARC	RADIUS	CHORD LENGTH	CHORD BEARING
C1	43.00	170.00	42.88	N 50°30'18" E

Dated this 17th day of November, 2023. Revised 1/16/24

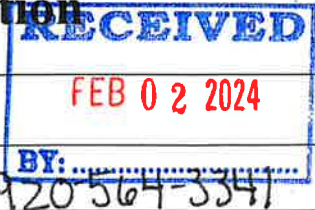
DATA/RAND/41ESHORE D-3595



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: <u>515 Ray Bern Ct. (Lot 4)</u>		
<u>Field Tree Construction</u> <u>110 S. Business Park Dr.</u>		
Owner's Name	Mailing Address (if different from project location above)	Phone No.
<u>Rich Line Builders</u> <u>N1023 Knepprath Rd.</u>		
Contractor's Name	Contractor's Mailing Address	Phone No.
<u>Cedar Grove, WI 53013</u>		<u>tr.richline@gmail.com</u>
City, State & Zip Code		Email
<u>5912</u>		<u>1070969</u>
Dwelling Contractor Certification No.		Dwelling Contractor Qualifier Certification No.

Please check project type

New**	☒	Addition**	Job Description: <u>New construction condo</u>
Alteration*	☐	Repair	

Size _____ X _____ Sq. Ft. 11600 Height _____ Est. Value of Project \$ 400,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

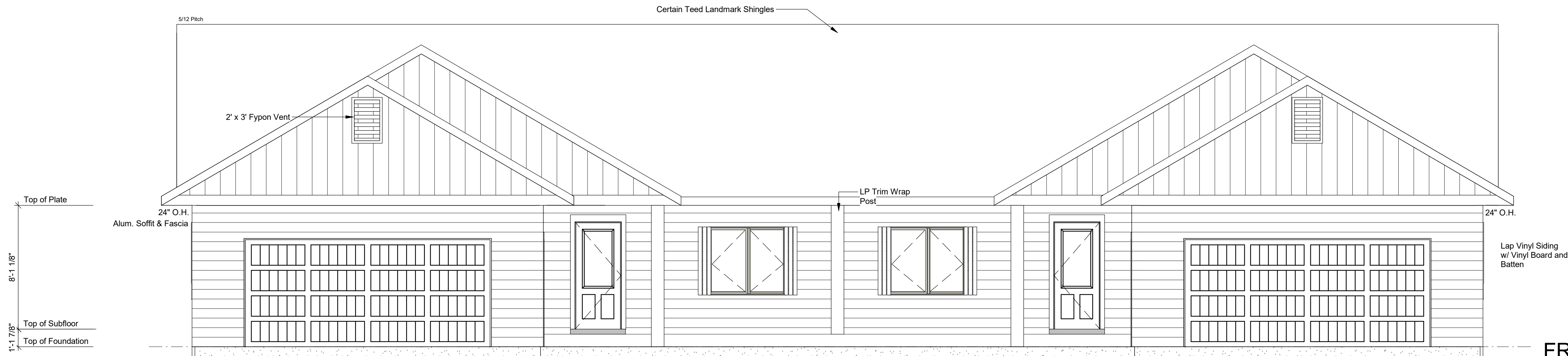
ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is hereby agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

SIGNATURE Amy DeBly DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



LEFT ELEVATION
SCALE: 1/4" = 1'-0"

NOTICE:

THESE PLANS ARE DESIGNED
EXCLUSIVELY FOR THE USE
OF OUR CUSTOMERS. ANY
REPRODUCTION OR OTHER
USE IS STRICTLY PROHIBITED
WITHOUT THE EXPRESSED
WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

DATE:

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

DRAWN BY:

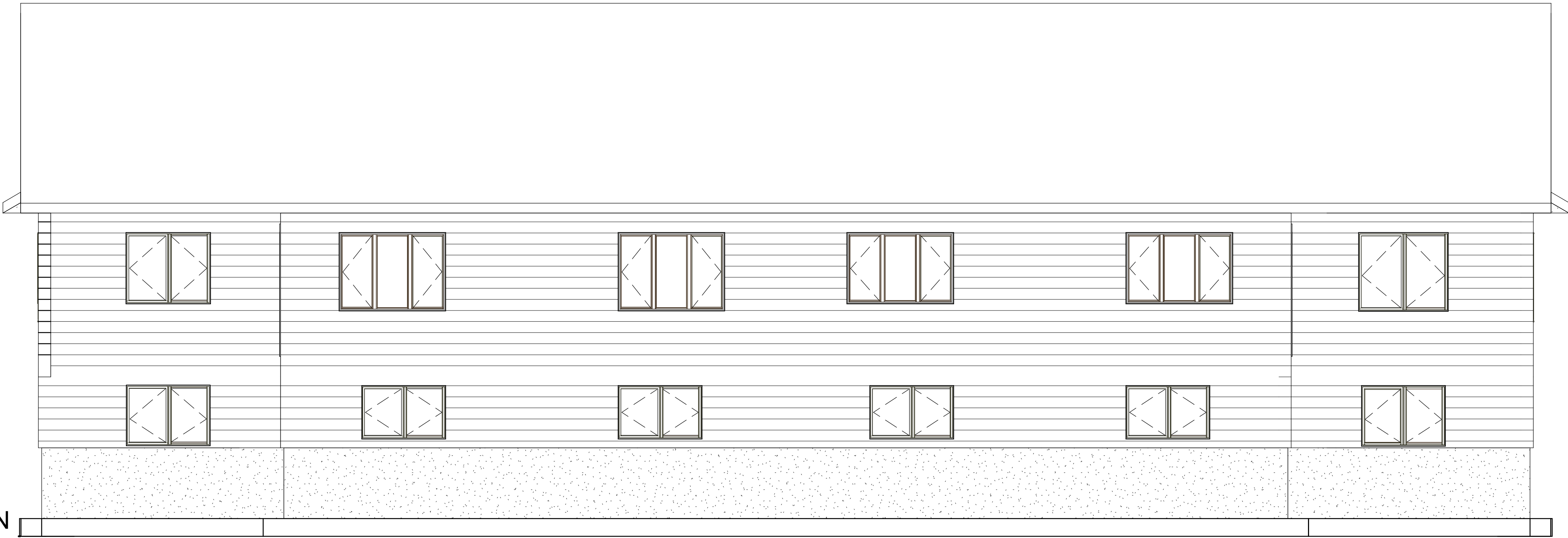
Breanna Turner
breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:

1 OF 5

REAR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"



DRAWN BY:

Breanna Turner

breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE

OOSTBURG, WI 53070

PAGE:

2 OF 5

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

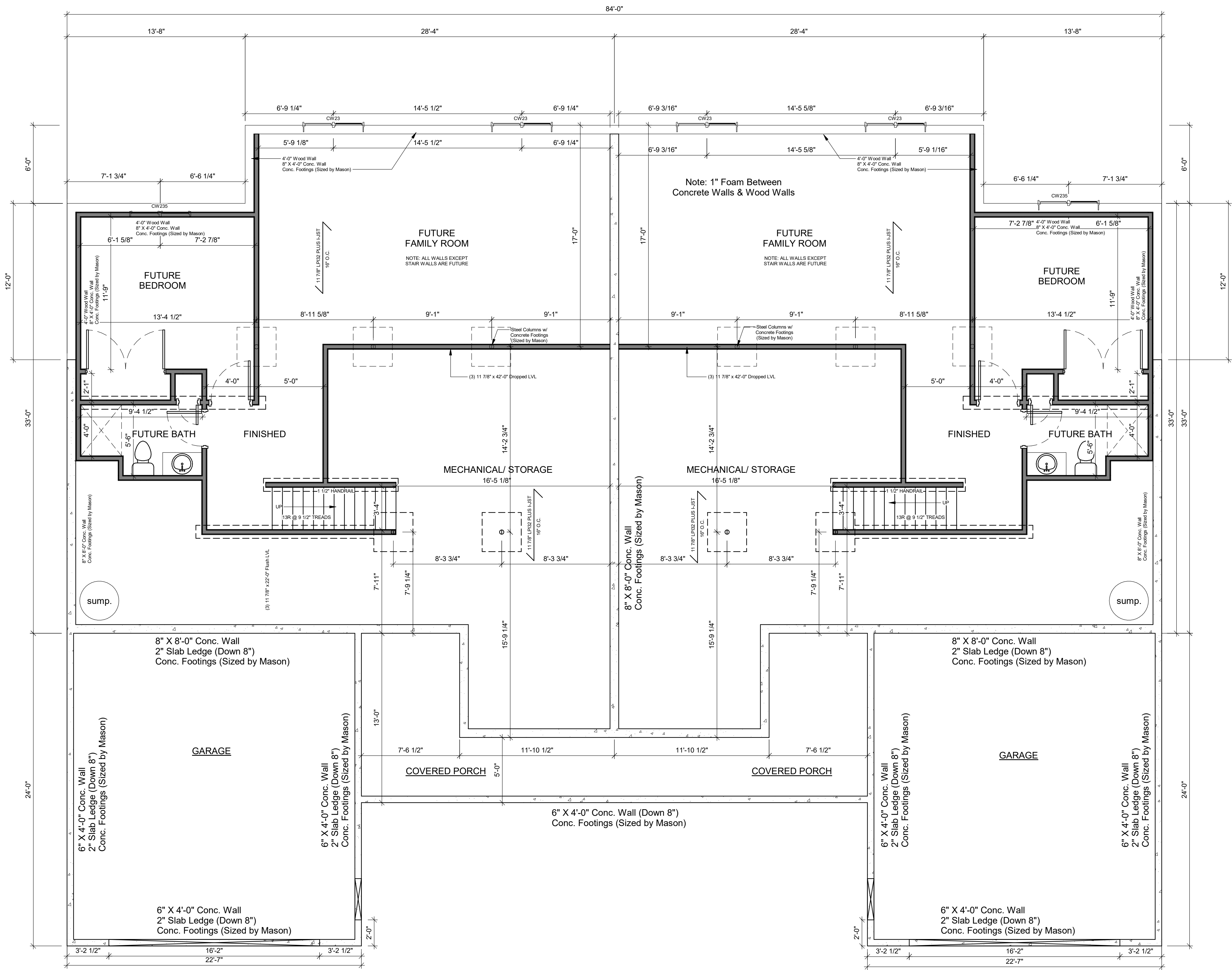
DATE:

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USE IS STRICTLY PROHIBITED
WITHOUT THE EXPRESSED
WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

FIELDtree
CUSTOM CONSTRUCTION



GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FOUNDATION PLAN NOTES

- ALL FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SIZED AS REQUIRED BY SOIL CONDITIONS AND LOCAL BUILDING CODES.
- ADD 3" TO WIDTH AND HEIGHT OF ALL WINDOWS. ADD 1 1/2" TO THE HEIGHT AND 3" TO THE WIDTH OF ALL DOORS TO ALLOW FOR MASONRY ROUGH OPENING.

NOTE

Add 3" to Width and Height of all windows. Add 1 1/2" to the Height and 3" to the Width of all Doors to Allow for Masonry Rough Opening.

ALL DESIGN AND PLACEMENT OF ALL CONCRETE WORK - BY OTHERS

BASEMENT

SCALE: 1/4" = 1'-0"

NOTICE:

THESE PLANS ARE DESIGNED EXCLUSIVELY FOR THE USE OF OUR CUSTOMERS. ANY REPRODUCTION OR OTHER USE IS STRICTLY PROHIBITED WITHOUT THE EXPRESSED WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

DATE:

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

DRAWN BY:

Breanna Turner

breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:

3 OF 5

FIGURE 321.25C
LOCATION OF BRACED WALL PANELS ALONG A BUILDING SIDE

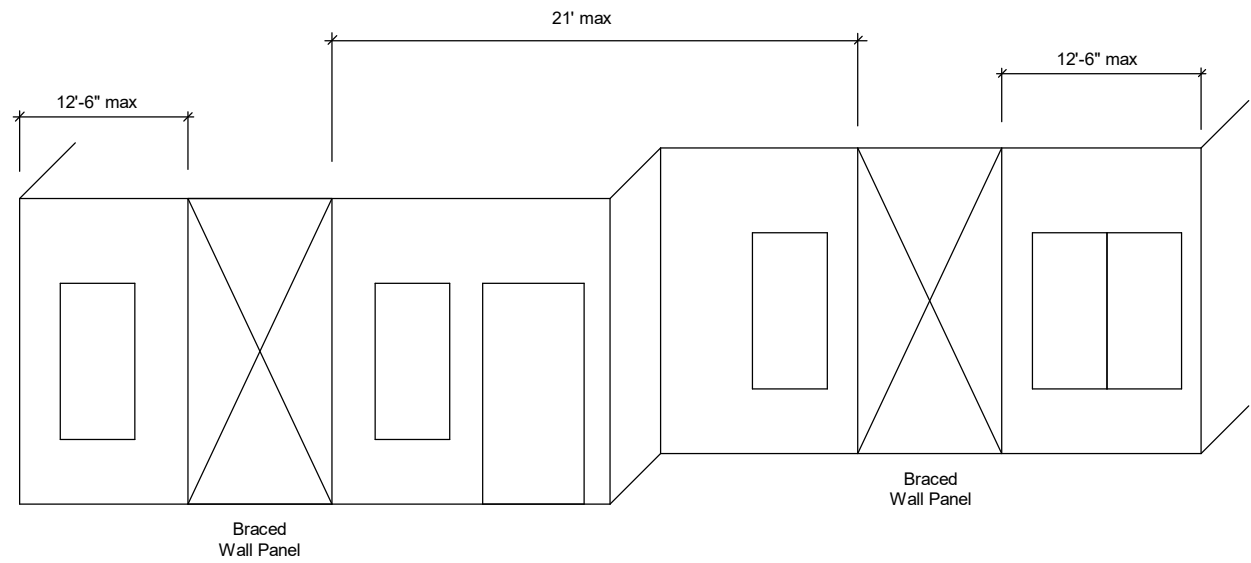


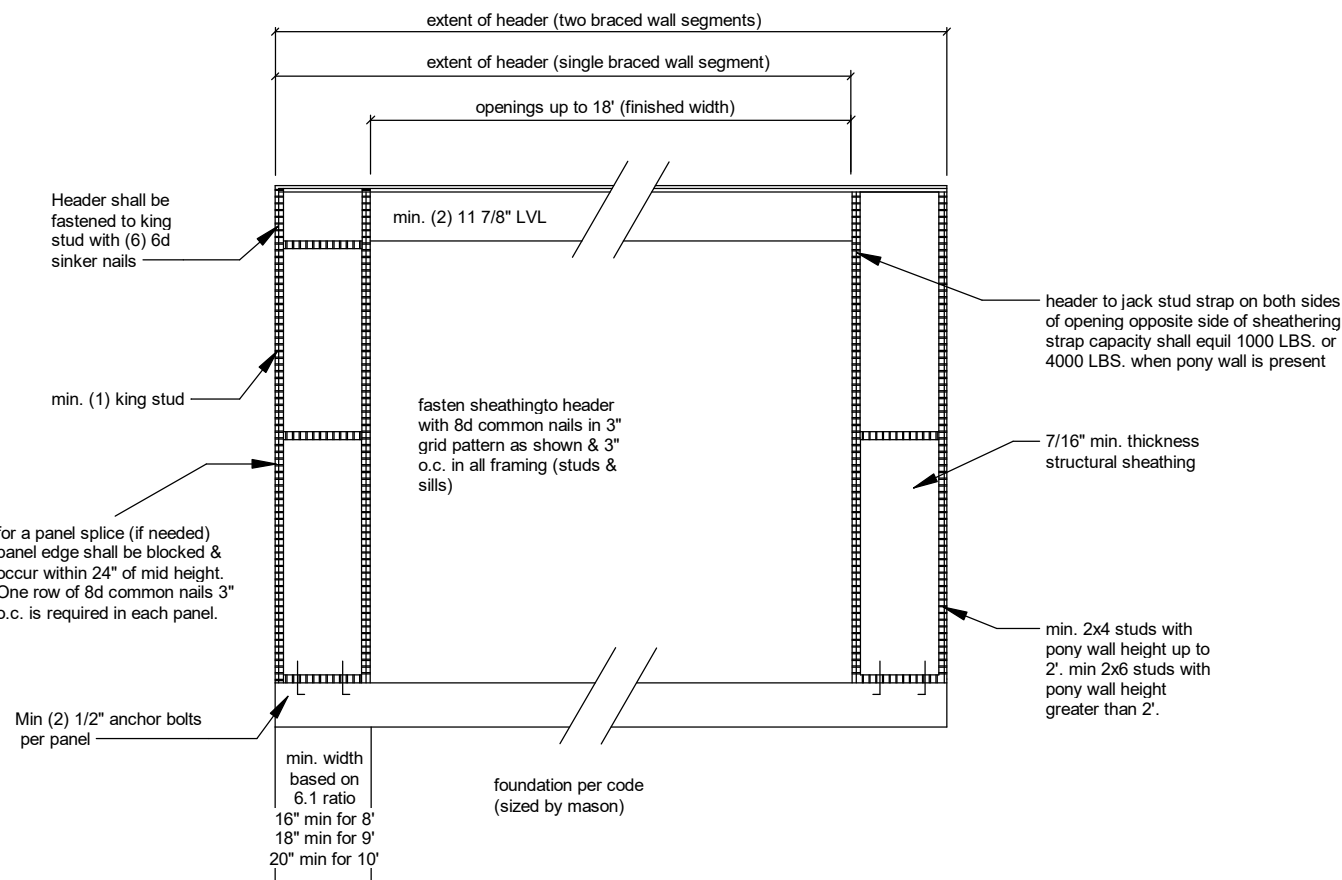
Table 321.25-G
BRACING METHODS

Method	Minimum Brace Material Thickness or Size	Maximum Normal Wall Height	Minimum Braced Wall Panel Width or Braced Angle	Connection Criteria	
				Minimum Fasteners	Maximum Spacing
Intermittent Bracing Methods					
WSP Wood Structural Panel	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24' o.c. stud spacing	10'	48" with Gypsum on interior 80" without Gypsum on interior	6d common nail or 8d box nail (2-1/2" long x 0.113" diameter) or 7/16" crown 16 gauge staples, 1 1/4" long	6" edges, 12" field (nails) 3" edges, 6" field (staples)
GB Gypsum board (installed on both sides of Wall)	1/2" maximum 24' o.c. stud spacing	10'	96"	5d collar nails, or 6" screws	7" edges, 7" field (including top and bottom plates)
Continuous Sheathed Bracing Methods					
CS- WSP Continuous sheathed WSP	3/8" for maximum 16' o.c. stud spacing 7/16" for maximum 24' o.c. stud spacing	12'	Refer to Table 321.25-H	Same as WSP	Same as WSP
Narrow Panel Bracing					
PF Portal Frame	7/16"	12'	Refer to Figure 321.25-A	Refer to Figure 321.25-A	Refer to Figure 321.25-A

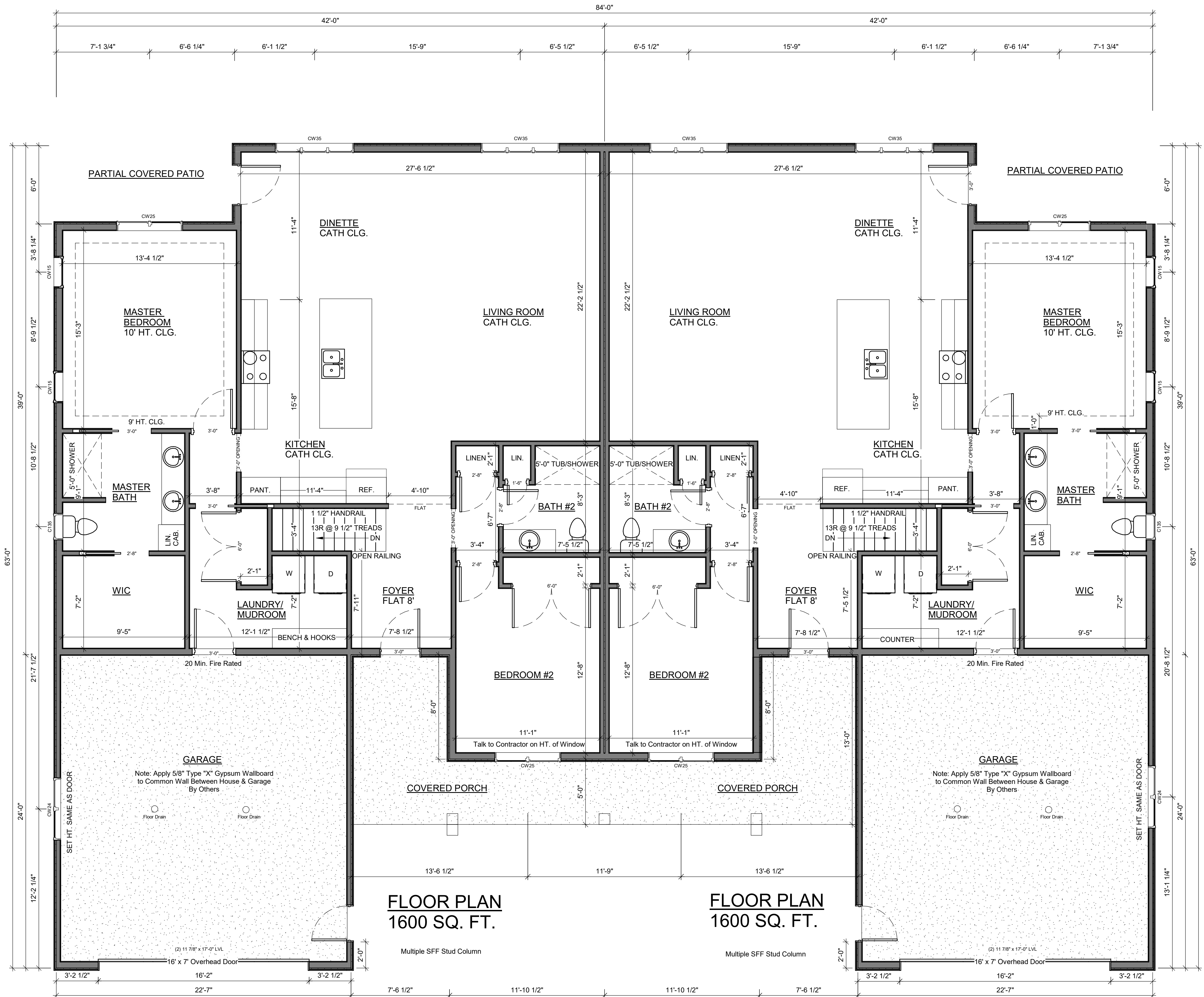
Table 321.25-H
MINIMUM WIDTHS OF METHOD CS- WSP BRACED WALL PANELS

Maximum Opening Height Adjustment to Braced Wall Panel	Minimum Length of Braced Wall Panel (inches)			
	8' Tall Wall	9' Tall Wall	10' Tall Wall	12' Tall Wall
Up to 5' - 4"	24	27	30	36
Up to 6' - 8"	32	30	30	36
Up to 8'	48	41	38	36
Up to 9'	-	54	46	41
Up to 10'	-	-	60	48
Up to 12'	-	-	-	72

Figure 321.25-A
METHOD PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE:
All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")
All window header heights to be set at 6'-10 7/8" unless otherwise noted.
All bearing headers to be (2) 2x12's, unless otherwise noted.
All exterior window and door sizes are Rough Openings.
All wall heights to be 8'-1 1/8" unless otherwise noted.



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FIELD TREE CONSTRUCTION

DATE:

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

DRAWN BY:

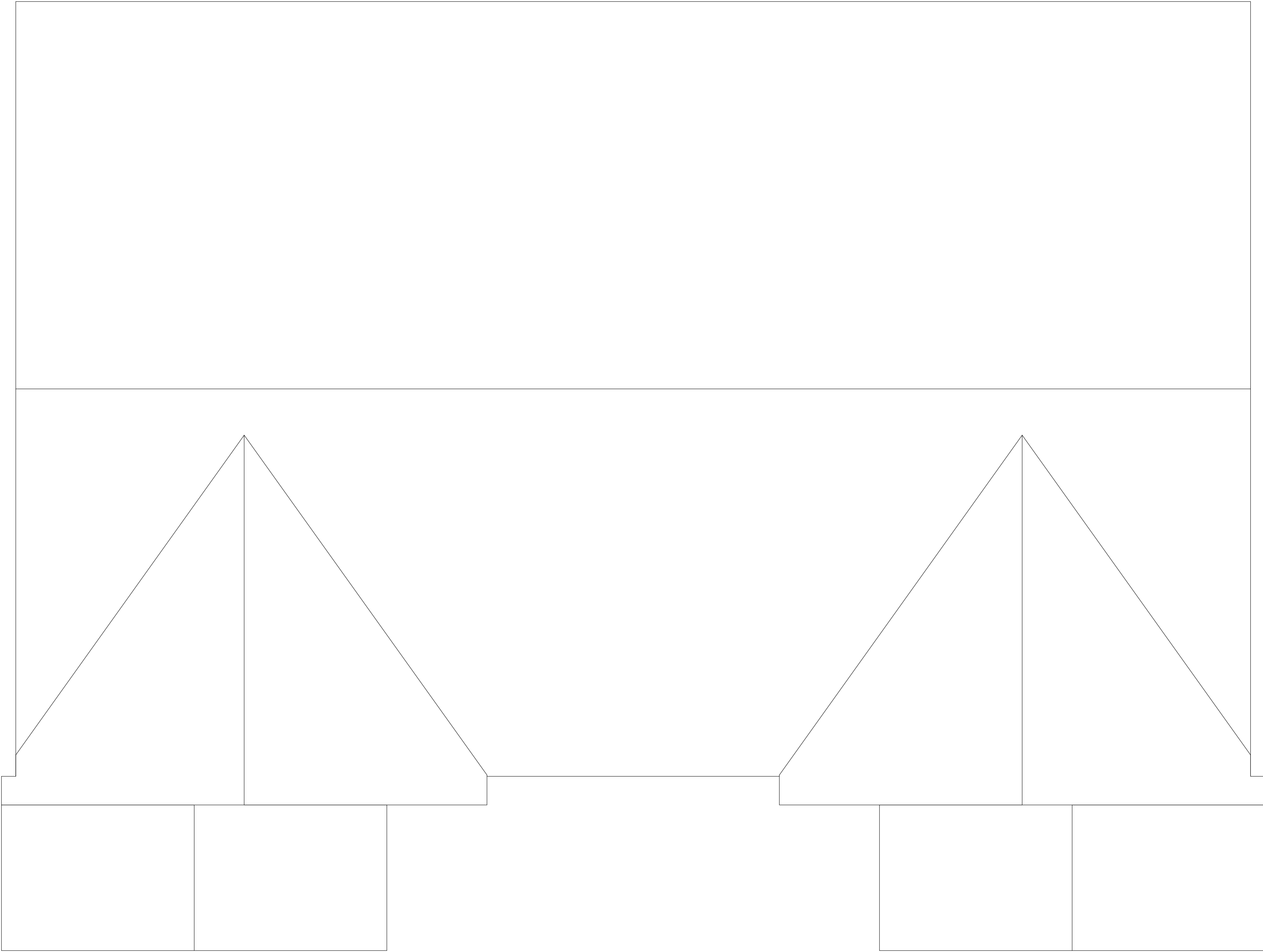
Breanna Turner

breanna@locusthugconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:

4 OF 5



DRAWN BY:

Breanna Turner

breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE

OOSTBURG, WI 53070

PROJECT FOR:

RANDOM LAKE -
THE WOODLAND

DATE:

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FIELD TREE CONSTRUCTION

FIELDtree

CUSTOM CONSTRUCTION

PAGE:

5 OF 5

Exterior colors and products for Units 7/8 Raybern Court (Lot 4)

515-517

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Dark Gray

Anderson casement windows: white

Exterior colors and products for Units 21/22 Raybern Ct (Lot 11)

540-542

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

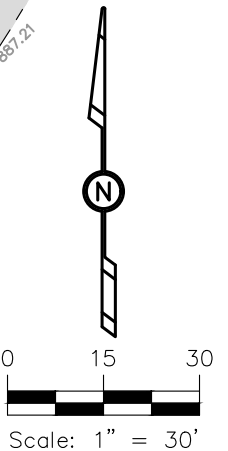
Vinyl siding: Brown

Anderson casement windows: white

FOR: Field Tree Construction

FUTURE CONDOMINIUM
UNITS 3 & 4

FUTURE CONDOMINIUM
UNITS 5 & 6



I Benjamin J. Reenders do hereby certify that
this survey is correct to the best of my
knowledge and belief.

 = Manhole
 = Telecom Line
 = Gas Line
 = Suggested Silt Fence
 = Proposed Flow
 = Proposed Grade
T. = Top of Curb Elevation
G. = Gutter Elevation

BENCHMARK
TOP OF SANITARY
SEWER MANHOLE
EL. = 886.24

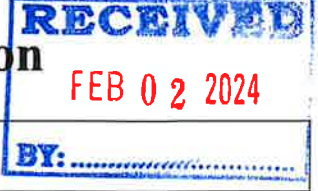
The logo for Cedar Creek Surveying, LLC features a green evergreen tree on the left, a blue wavy line representing a creek in the center, and the company name in blue and green text on the right. Below the logo, the contact information is listed: 941 Center Avenue, Suite 1, Oostburg, WI 53070, and the phone number 920-547-0599. At the bottom of the page, a black bar contains the file number 2023212, the date 1/11/2024, and the page number 1 OF 1.



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: <u>517 Ray Bern Ct. (Lot 4)</u>		
<u>Field Tree Construction</u> Owner's Name	<u>110 S. Business Park Dr.</u> Mailing Address (if different from project location above)	<u>920-564-3341</u> Phone No.
<u>Rich Line Builders</u> Contractor's Name	<u>N1023 Kneppath Rd.</u> Contractor's Mailing Address	<u>920-994-9811</u> Phone No.
<u>Cedar Grove, WI 53013</u> City, State & Zip Code		<u>tr.richline@gmail.com</u> Email
<u>5912</u> Dwelling Contractor Certification No.		<u>1070969</u> Dwelling Contractor Qualifier Certification No.

Please check project type

New**	☒	Addition**	Job Description: <u>new construction condo</u>
Alteration*	☐	Repair	

Size _____ X _____ Sq. Ft. 1600 Height _____ Est. Value of Project \$ 400,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

- 2 sets of paper building plans, 1 set electronic format.
- a list of all materials and colors to be used on the exterior.
- 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
- an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is hereby agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Angie DeBluy DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
 Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

PAID BY: _____	FOR OFFICE USE: CHECK NO. _____	AMT PD _____	DATE _____
----------------	------------------------------------	--------------	------------

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite:

540 Raybern Ct. (Lot 11)

FieldTree Construction

Owner's Name

110 S. Business Park Dr.

Mailing Address (if different from project location above)

920-564-3341

Phone No.

Rich Line Builders

Contractor's Name

N1023 Knepprath Rd.

Contractor's Mailing Address

920-994-9811

Phone No.

Cedar Grove, WI 53013

City, State & Zip Code

tr.richline@gmail.com

Email

5912

Dwelling Contractor Certification No.

1070969

Dwelling Contractor Qualifier Certification No.

Please check project type

New**	☒	Addition**		Job Description: New construction condo
Alteration*	☐	Repair	☐	

Size _____ X _____ Sq. Ft. 1338 Height _____ Est. Value of Project \$ 375,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

- 2 sets of paper building plans, 1 set electronic format.
- a list of all materials and colors to be used on the exterior.
- 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
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ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is Hereby Agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

SIGNATURE

Quinn DeBluy

DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
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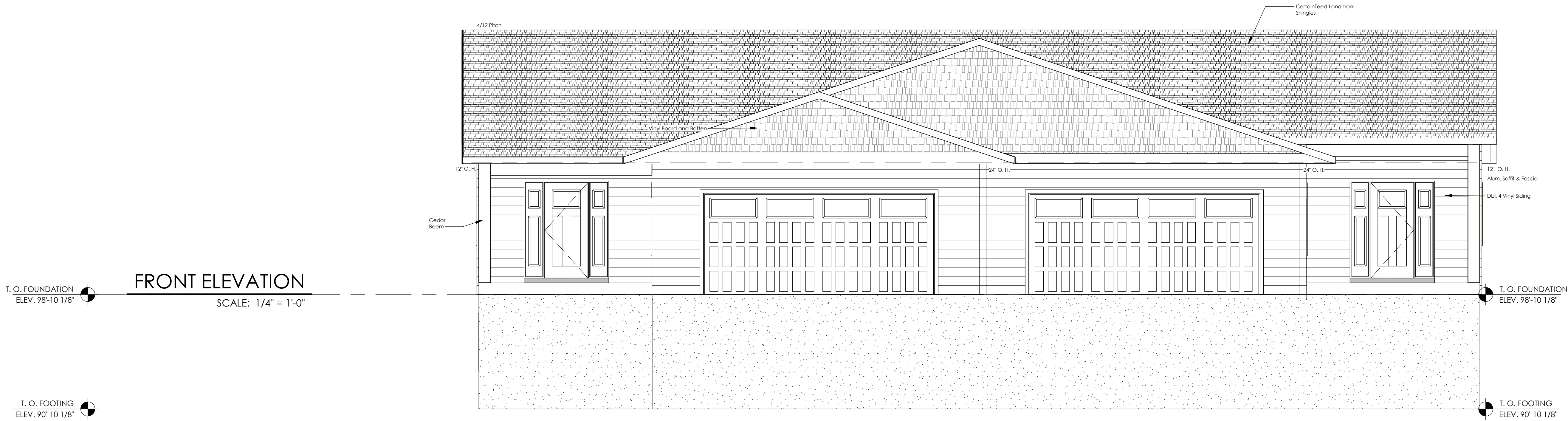
Permit No. _____

FOR OFFICE USE:			
PAID BY: _____	CHECK NO. _____	AMT PD _____	DATE _____

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
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7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



FRONT ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT ELEVATION
SCALE: 1/4" = 1'-0"

NOTICE:
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FIELD TREE CONSTRUCTION

DATE: 11/28/23

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:
**WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22**

DRAWN BY:
Breanna Turner
breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:
1 OF 5



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FIELD TREE CONSTRUCTION

DATE: 11/28/23

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22

DRAWN BY:

Breanna Turner
breanna@oostburgconcrete.com

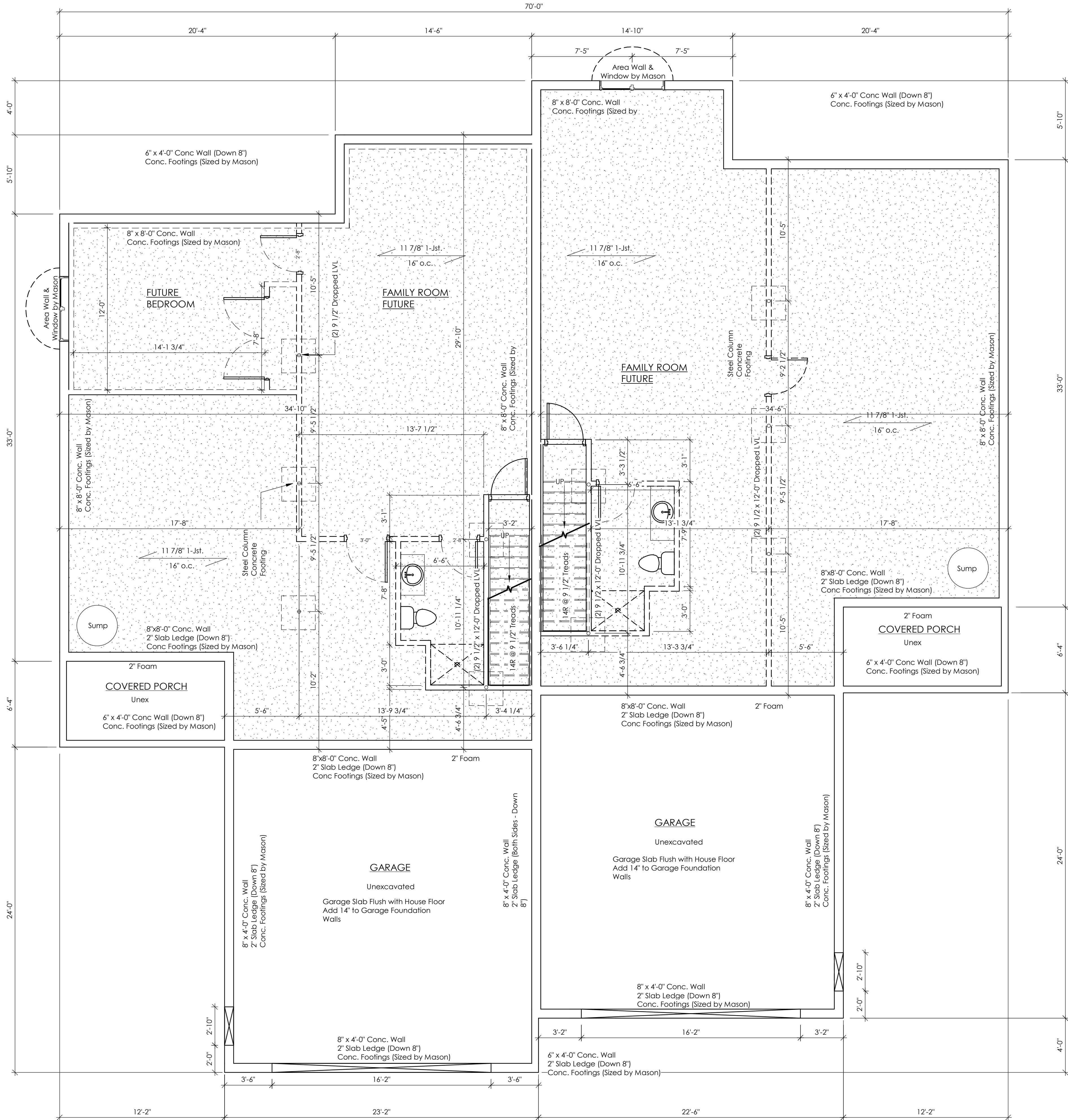
110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:

2 OF 5

Note:
Add 3" to Width and Height
of all Windows. Add 1 1/2" to
the
Height and 3" to the Width of
all Doors to allow for

NOTE:
ALL DESIGN AND PLACEMENT OF
ALL CONCRETE WORK
-BY OTHERS



GENERAL PLAN NOTES

- ALL LOOSE FURNISHINGS SHOWN ON PLANS ARE NOT IN CONTRACT AND ARE SHOWN FOR REFERENCE PURPOSES ONLY. ANY DEVICES OR EQUIPMENT TO BE LOCATED BASED UPON LOCATION OR CONFIGURATION OF LOOSE FURNISHINGS SHALL BE VERIFIED WITH THE OWNER PRIOR TO INSTALLATION.
- INTERIOR DIMENSIONS TAKEN FROM FACE OF STUD TO FACE OF STUD.

FOUNDATION PLAN NOTES

- ALL FOOTINGS TO BE A MINIMUM OF 48" BELOW GRADE AND SIZED AS REQUIRED BY SOIL CONDITIONS AND LOCAL BUILDING CODES.
- ADD 3" TO WIDTH AND HEIGHT OF ALL WINDOWS. ADD 1 1/2" TO THE HEIGHT AND 3" TO THE WIDTH OF ALL DOORS TO ALLOW FOR MASONRY ROUGH OPENING.

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FIELD TREE CONSTRUCTION

DATE: 11/28/23

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22

DRAWN BY:

Breanna Turner

breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:

3 OF 5

FIGURE 321.25C
LOCATION OF BRACED WALL PANELS ALONG A BUILDING SIDE

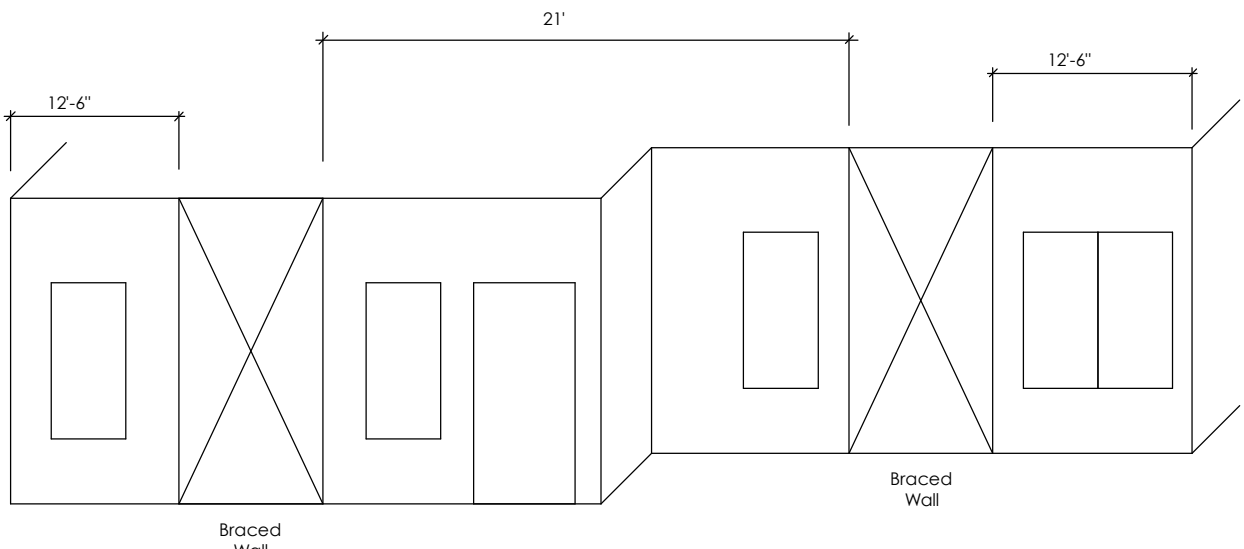


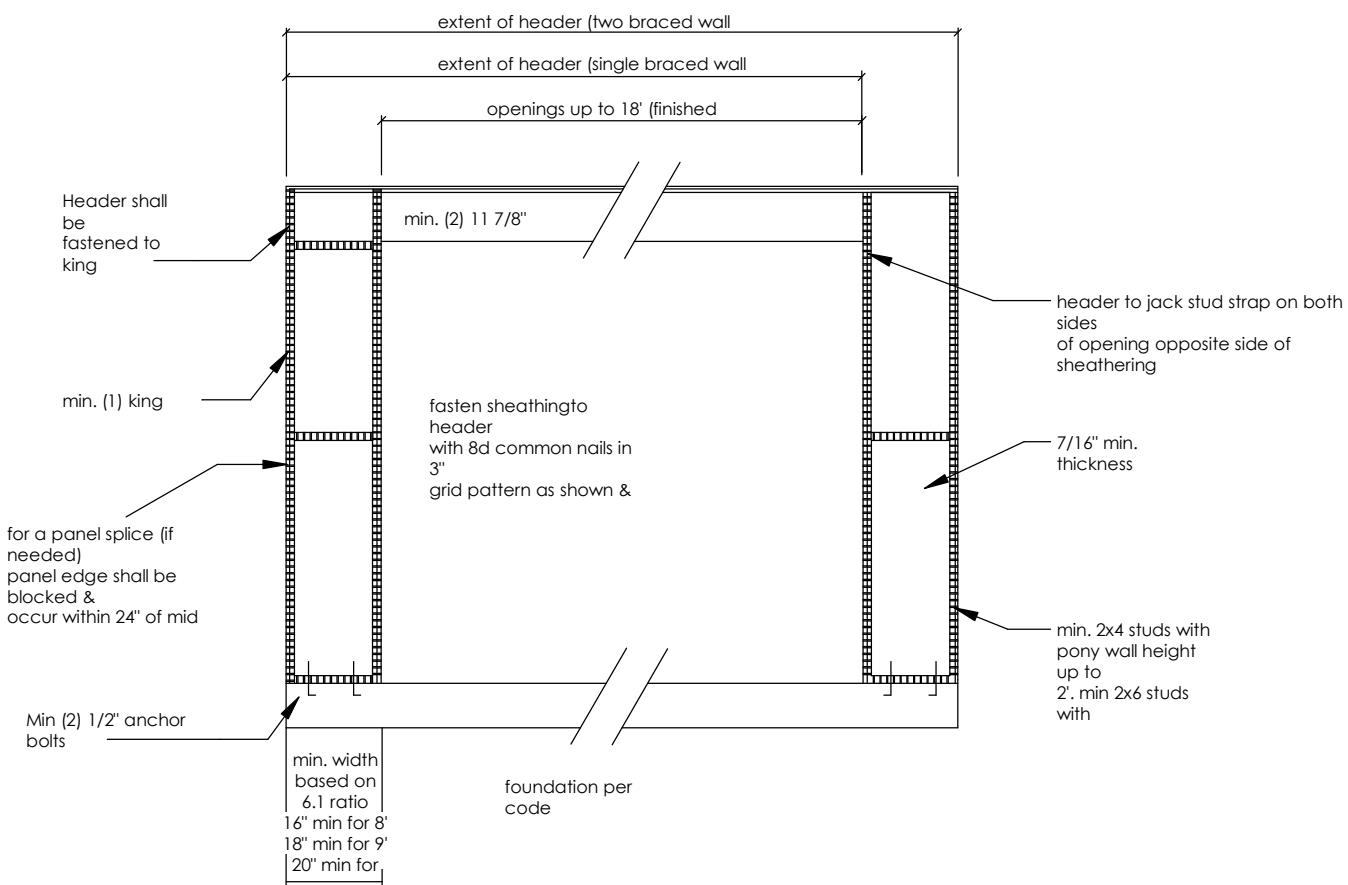
Table 321.25-G
BRACING METHODS

Method	Minimum Brace Material Thickness or Size	Maximum Normal Wall	Minimum Braced Wall Panel Width or	Connection	
				Minimum Fastener	Maximum
Intermittent Bracing					
WSP Wood Structural	3/8" for maximum 16" o.c. stud spacing 7/16" for maximum 24"	10'	48" with Gypsum 80" without Gypsum	6d common nail or 8d box nail (2-1/2" long x 0.113" diameter) or	6' edges, 12' field (nails) 3' edges, 6'
GB Gypsum board (installed on both sides of	1/2" maximum 24" o.c. stud	10'	96"	5d collar nails, or	7' edges, 7' field (including top and bottom
Continuous Sheathed Bracing					
CS-WSP Continuous sheathed	3/8" for maximum 16" o.c. stud spacing 7/16" for maximum 24"	12'	Refer to Table	Same as WSP	Same as WSP
Narrow Panel					
PF Portal	7/16	12'	Refer to Figure	Refer to Figure	Refer to Figure

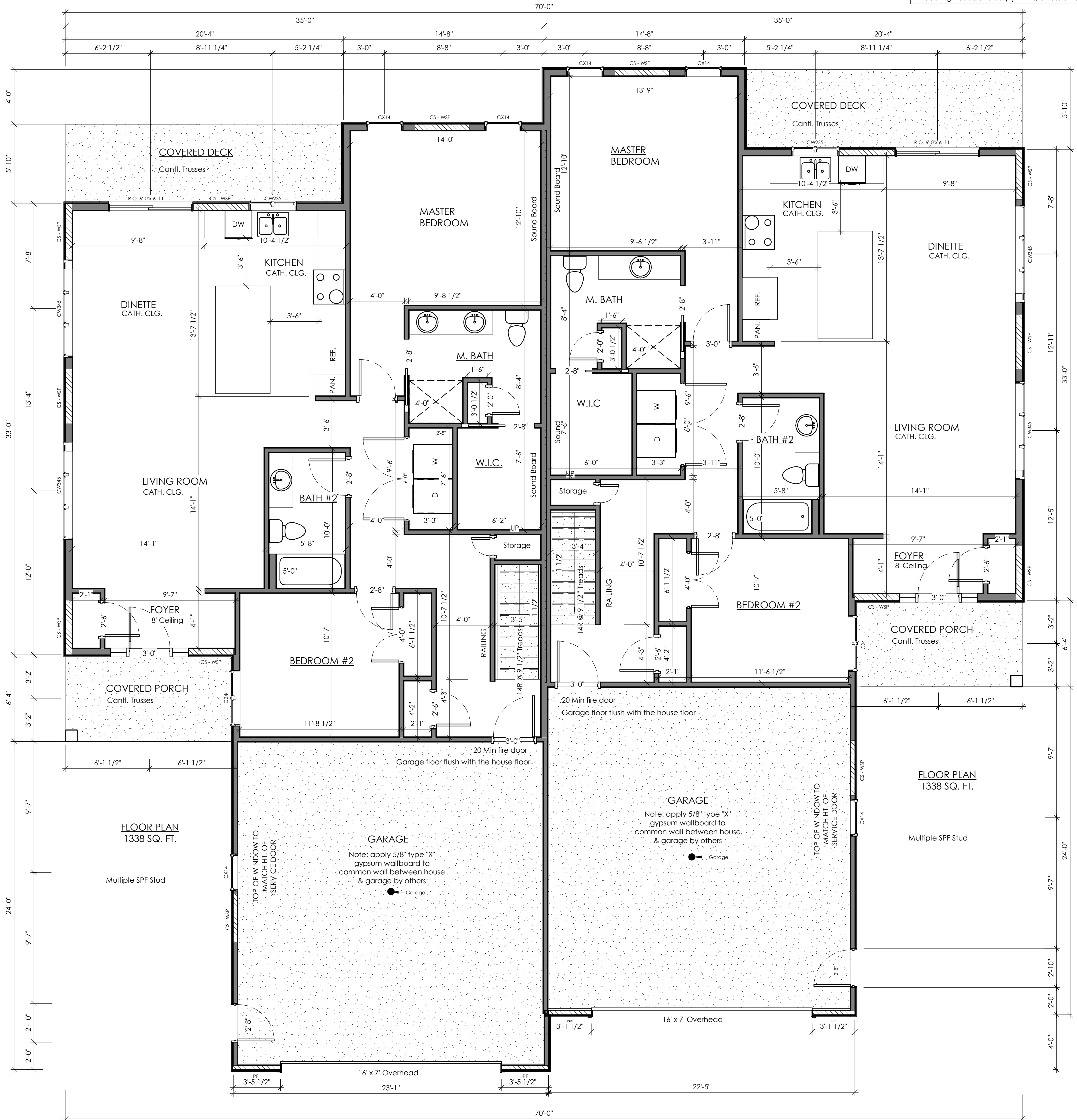
Table 321.25-H
MINIMUM WIDTHS OF METHOD CS- WSP BRACED WALL PANELS

Maximum Opening Height Adjustment	Minimum Length of Braced Wall Panel			
	8' Tall Wall	9' Tall Wall	10' Tall Wall	12' Tall Wall
Up to 5' -	24	27	30	36
Up to 6' -	32	30	30	36
Up to 7' -	48	41	38	36
Up to 8' -	-	54	46	41
Up to 9' -	-	-	60	48
Up to 10' -	-	-	-	72

Figure 321.25-A
METHOD PF - PORTAL FRAME BRACE CONSTRUCTION



NOTE:
All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")
All window header heights to be set at 6'-10 7/8" unless otherwise noted.
All bearing headers to be (2) 2x12s, unless otherwise noted.



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

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FIELD TREE CONSTRUCTION

DATE: 11/28/23

FIELDtree
CUSTOM CONSTRUCTION

PROJECT FOR:

WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22

DRAWN BY:

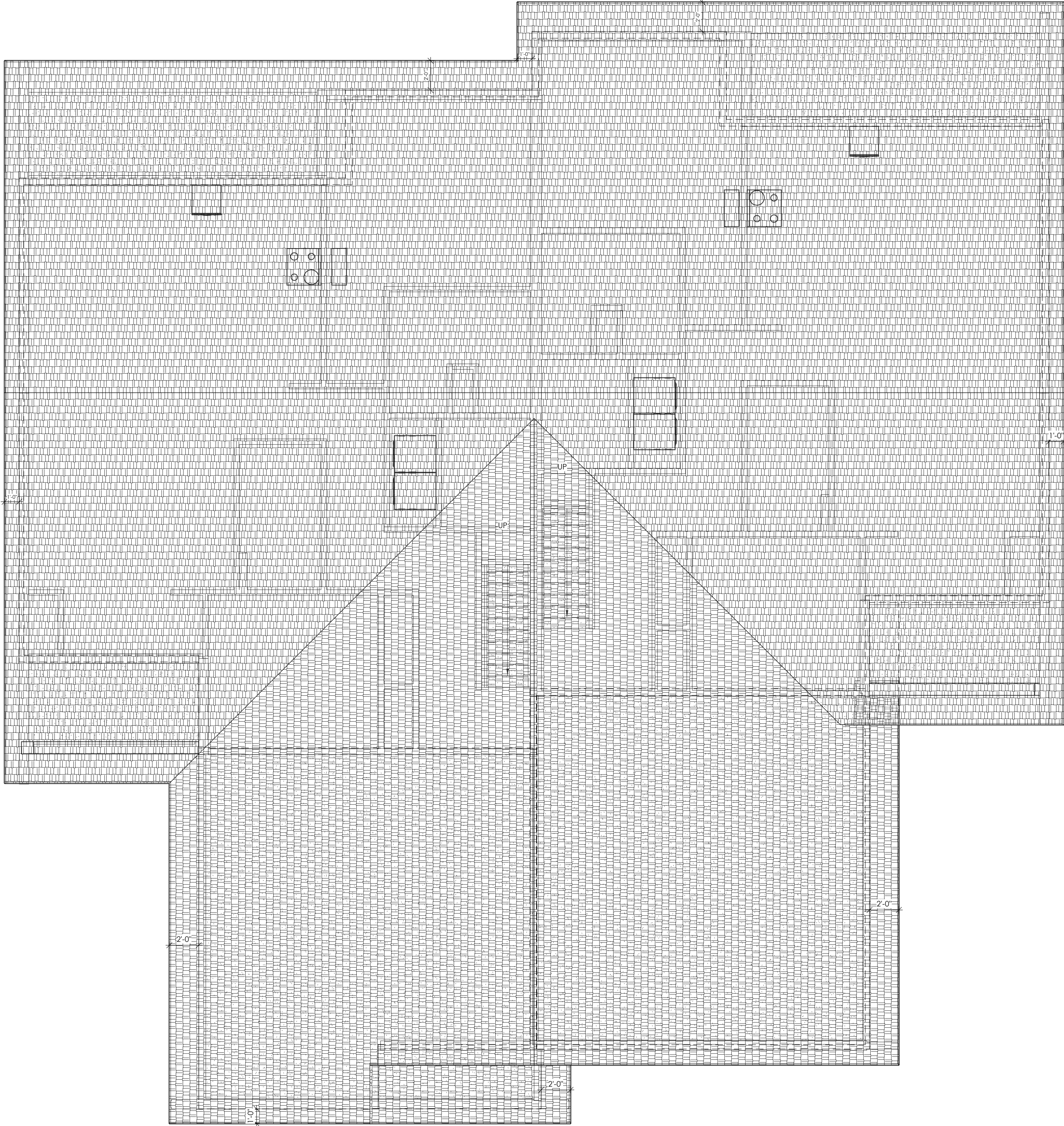
Breanna Turner

breanna@oodtreeconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:

4 OF 5



NOTE:
All dimensions are face of stud to face of stud 2x4 (3 1/2"), 2x6 (5 1/2")
All window header heights to be set at 6'-10 7/8" unless otherwise noted.
All bearing headers to be (2) 2x12s, unless otherwise noted.

DRAWN BY:
Breanna Turner
breanna@oostburgconcrete.com

110 SOUTH BUSINESS PARK DRIVE
OOSTBURG, WI 53070

PAGE:
5 OF 5

PROJECT FOR:
WOODLAND
VIEW - LOT 11 -
UNIT 21 & 22

FIELDtree
CUSTOM CONSTRUCTION

DATE: 11/28/23

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REPRODUCTION OR OTHER
USE IS STRICTLY PROHIBITED
WITHOUT THE EXPRESSED
WRITTEN CONSENT OF.

FIELD TREE CONSTRUCTION

Exterior colors and products for Units 7/8 Raybern Court (Lot 4)

515-517

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Dark Gray

Anderson casement windows: white

Exterior colors and products for Units 21/22 Raybern Ct (Lot 11)

540-542

Shingles: Certainteed black

Facia/soffit: White facia / white soffit

Clad framing: white

LP window trim: white

Vinyl siding: Brown

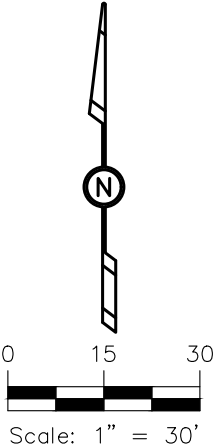
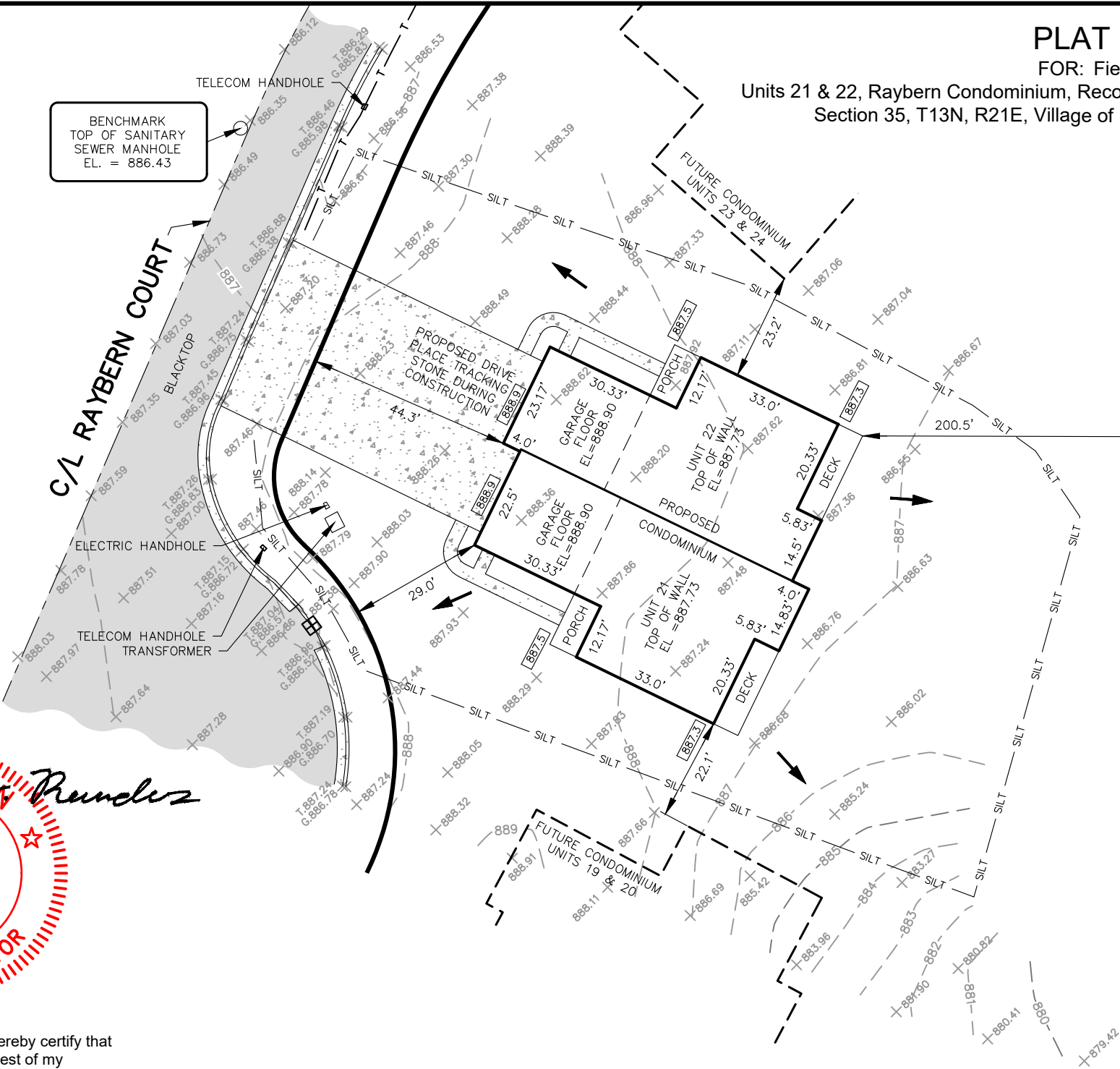
Anderson casement windows: white

PLAT OF SURVEY

FOR: Field Tree Construction

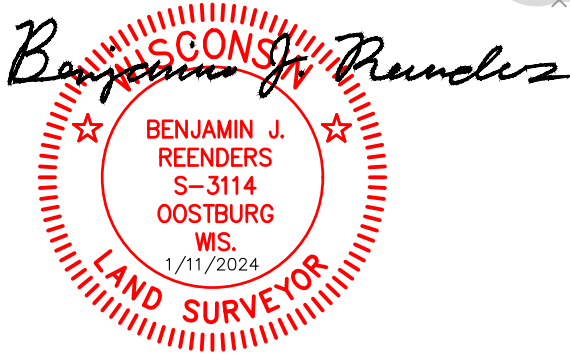
Units 21 & 22, Raybern Condominium, Recorded in V.15 P.49-50, Part of the SW 1/4 of the SE 1/4, Section 35, T13N, R21E, Village of Random Lake, Sheboygan County, Wisconsin.

BENCHMARK
TOP OF SANITARY
SEWER MANHOLE
EL. = 886.43

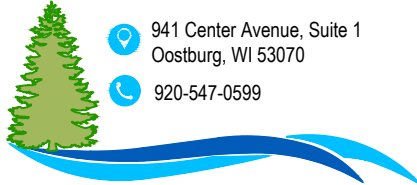


LEGEND

- = Manhole
- ⊞ = Catch Basin
- T — = Telecom Line
- SILT — = Suggested Silt Fence
- = Proposed Flow
- 0000.00 — = Proposed Grade
- T. = Top of Curb Elevation
- G. = Gutter Elevation



I Benjamin J. Reenders do hereby certify that this survey is correct to the best of my knowledge and belief.



941 Center Avenue, Suite 1
Oostburg, WI 53070
920-547-0599

CEDAR CREEK SURVEYING, LLC
www.cedarcreeksurveying.com

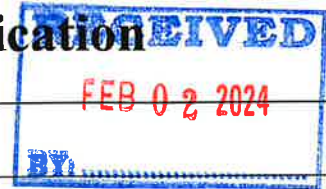
FILE No.: 2023213 DATE: 1/11/2024 PAGE: 1 OF 1



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application



Jobsite: <u>542 Ray Bern Ct. (Lot 11)</u>		
<u>Field Tree Construction</u> Owner's Name	<u>110 S. Business Park Dr.</u> Mailing Address (if different from project location above)	<u>920-564-3341</u> Phone No.
<u>Rich Line Builders</u> Contractor's Name	<u>N1023 Knepprath Rd.</u> Contractor's Mailing Address	<u>920-994-9811</u> Phone No.
<u>Cedar Grove, WI 53013</u> City, State & Zip Code		<u>tr.richline@gmail.com</u> Email
<u>5912</u> Dwelling Contractor Certification No.		<u>1070969</u> Dwelling Contractor Qualifier Certification No.

Please check project type

New**	☒	Addition**		Job Description: <u>New construction condo</u>
Alteration*	☐	Repair	☐	

Size _____ X _____ Sq. Ft. 1338 Height _____ Est. Value of Project \$ 375,000

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

1. 2 sets of paper building plans, 1 set electronic format.
2. a list of all materials and colors to be used on the exterior.
3. 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
4. an erosion control plan to be in effect during and after construction until lawn is established.

Architectural Review Board/Planning Commission Meeting Deadline: 12 Noon the 2nd Thursday of the month. Architectural Review Board/Planning Commission Meetings are held on the 3rd Monday of the month with a tentative start time of 6pm. You will be notified once your project is placed on the agenda to have a representative present.

DESCRIPTION	FEE
Building Permit Fee	
Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
(Non-Refundable) Base Permit Charge	\$40.00
Total:	

ALL FEES PAYABLE TO: VILLAGE OF RANDOM LAKE

CONDITIONS OF APPROVAL It is hereby agreed between the undersigned, as owner, his agent or servant, and the Village of Random Lake, that for and in consideration of the premises and of the permit to construct, erect, alter, or install and the occupancy of building as above described, to be issued and granted by the Building Inspector, that the work thereon will be done in accordance with the descriptions herein set forth in this statement, and as more fully described in the specifications and plans herewith filed; and it is further agreed to construct, erect, alter or install and occupy in strict compliance with the ordinances of the Village of Random Lake, and to obey any and all lawful orders of the Building Inspector of the Village of Random Lake, and all State Laws relating to the construction, alteration, repairs, removal and safety of buildings and other structures and permanent building equipment. Permits are valid for two years from the date below.

SIGNATURE Gregory DeBluy DATE 1/26/24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

FOR OFFICE USE:			
PAID BY: _____	CHECK NO. _____	AMT PD _____	DATE _____

FEE SCHEDULE WORKSHEET

ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
1	Early Start Permit (footings and foundations)		\$150.00	
2	New Structure or Addition		\$0.30/sq. ft for all floor areas (\$100.00 min)	
3	Erosion Control-new structure		\$150.00	
4	Erosion Control-addition		\$80.00	
5	Sewer Availability Charge-2024		\$1,872.00	
6	Occupancy Permit (per unit)		\$50.00	
7	State Permit Seal		\$43.00	
8	Driveway/Curb Cut		\$10.00	
9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
17	Plan Review-Accessory buildings larger than 120 sq. ft		\$0.08/sq. ft for all floor areas (\$17.50 min)	
18	Re-Inspection		\$50.00/inspection	
19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



P.O. Box 344 • 96 Russell Drive • Random Lake, WI 53075
Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

Residential Building Permit Application

Jobsite: Lot 7, East Shore Drive, Random Lake, WI

Charles J. & Barbara J. Mueller Owner's Name	12 Orth Drive, Random Lake, WI 53075 Mailing Address (if different from project location above)	414-550-1668 - Chuck Phone No.
JH Universal Construction LLC Contractor's Name	5038 Cal Drive Contractor's Mailing Address	262-305-5490 - Joe Herther Phone No.
West Bend, WI 53095 City, State & Zip Code	info@jhuniversal.com Email	
091200027 Dwelling Contractor Certification No.	09200014 Dwelling Contractor Qualifier Certification No.	

Please check project type

New**	☒	Addition**	☐	Job Description: New home build
Alteration*	☐	Repair	☐	

Size 74' 1/2" X 95' 9 1/4" Sq. Ft. 6,881 Height 32 Est. Value of Project\$ \$1,564,245

*ITEM WHICH MUST ACCOMPANY THIS APPLICATION:

- 1 set of building plans drawn to scale.

**ITEMS WHICH MUST ACCOMPANY THIS APPLICATION:

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- a list of all materials and colors to be used on the exterior.
- 2 plot plans with all buildings, driveways, parking areas, top of basement wall or slab on grade elevations and green space
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Plan Review Fee	
Architectural Review Board/Planning Commission Fee	
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SIGNATURE Joseph Herther DATE 2-13-24

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections



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Phone: (920) 994-4852 • Fax: (920) 994-2390

Permit No. _____

FOR OFFICE USE:

PAID BY: _____ CHECK NO. _____ AMT PD _____ DATE _____

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ITEM	DESCRIPTION	COUNT/SIZE	RATE	FEE
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9	Remodel/Alteration (Includes Plan Review		\$0.20/sq. ft for all floor areas (\$25.00 minimum)	
10	Wrecking/Razing or interior demolition Fee		\$15.00 up to 1,200 sq. ft \$30.00 over 1,200 sq. ft	
11	Accessory Structure or Deck		\$0.20/sq. ft for all areas (\$30.00 minimum)	
12	Siding, Roofing		\$50.00	
13	Fence		30.00	
14	Plan Review-New construction 1&2 family		\$0.12/sq. ft for all floor areas (\$150.00 min)	
15	Plan Review-Multi Family		\$0.12/sq. ft for all floor areas (\$200.00 min) plus \$25.00/unit	
16	Plan Review-Additions		\$0.08/sq. ft for all floor areas (\$17.50 min)	
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19	Other:			
20	(Non-Refundable) Base Permit Charge	1	\$40.00	\$40.00
Sub Total:				
21	Architectural Review Board/Planning Commission		\$280.00	
Grand Total:				

All work must be inspected by the Building Inspector. Call RK Inspections, Roger Kison at 414-333-4511 for inspections

BID SET ONLY —
NOT FOR PERMIT
NOT FOR CONSTRUCTION



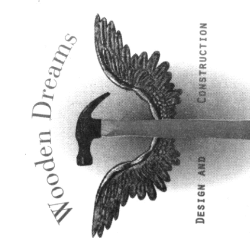
1 FRONT ENTRY/GARAGE
A-1 NO SCALE

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-1

ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET



DESIGN CONCEPT PLANS BY:
WOODEN DREAMS, INC.
1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645

BID SET ONLY —
NOT FOR PERMIT
NOT FOR CONSTRUCTION



1 LAKE/KITCHEN SIDE
A-2 NO SCALE



2 LOWER GARAGE/LAKE SIDE
A-2 NO SCALE



3 GARAGE/LOWER GARAGE
A-2 NO SCALE



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1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645

ISSUE/REVISION	
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-2

BID SET ONLY —
NOT FOR PERMIT
NOT FOR CONSTRUCTION



1
A-3 FRONT

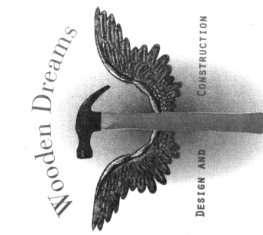
3/8" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-3

ISSUE/REVISION

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



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BID SET ONLY —
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NOT FOR CONSTRUCTION



NOT FOR PERMIT

1
A-4

KITCHEN SIDE

1/4" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-4

ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET



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1
A-5

LAKE SIDE

3/8" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-5

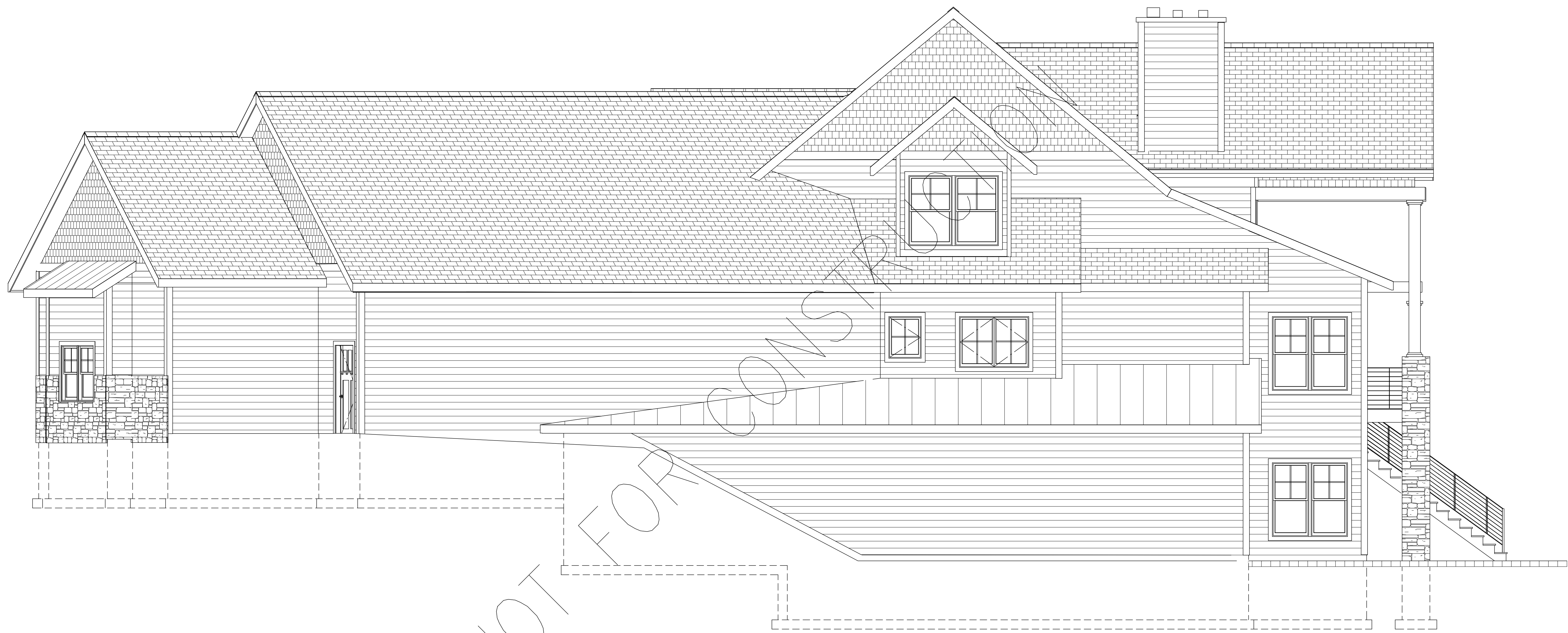
ISSUE/REVISION

A	1/16/23	BID SET
B	9/8/23	BID SET
C	2/9/24	BID SET



DESIGN CONCEPT PLANS BY:
WOODEN DREAMS, INC.
1883 SIOUX BLVD.
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BID SET ONLY —
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1
A-6 LOWER GARAGE SIDE

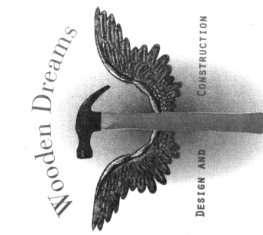
1/4" = 1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-6

ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET



DESIGN CONCEPT PLANS BY:
WOODEN DREAMS, INC.
1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645

BID SET ONLY –
NOT FOR PERMIT
NOT FOR CONSTRUCTION

GENERAL NOTES:

1. BID SET ONLY – NOT FOR PERMIT – NOT FOR CONSTRUCTION. PLANS ARE CONCEPTUAL DESIGN STAGE ONLY. ALL ELEVATIONS AND PLANS INCLUDING SECTIONS FOR BID SET ARE REPRESENTATIONAL.

FURTHERANCE OF PLANS REQUIRES COORDINATION AND INFORMATION PROVIDED BY TRUSS MFR., STRUCTURAL ENGINEER (CURRENTLY LICENSED IN THE STATE OF PROJECT) SURVEYOR, SOIL TESTING COMPANY AND BUILDER/CONTRACTOR.

2. FOR BIDDING PURPOSES ALL EXTERIOR STUD WALLS AND INTERIOR LOAD BEARING WALLS TO BE SPF #2 AND BETTER, EXTERIOR SHEATHING TO BE 1/2" PLYWOOD, 30# FELT IN PLACE OF AIR FILTRATION BARRIER, SUBFLOOR TO BE 3/4" T&G PLYWOOD, FLOORING UNDERLAYMENT TO BE 3/8" AC PLYWOOD IN AREAS OF LVT AND CARPET (NOT SHOWN ON PLAN), ROOF SHEATHING TO BE 1/2" OSB. FINAL STUD TYPES AND SHEATHING/DECKING TO BE DETERMINED BY STRUCTURAL ENGINEER. INTERIOR AND EXTERIOR STONE TO BE CULTURED STONE, LP SIDING AND TRIM.

3. INTERIOR TIMBER DESIGN ON PLANS IS PURELY FOR GRAPHICAL PURPOSES AND FINAL DESIGN TO BE COORDINATED BETWEEN TIMBER DESIGNER/SUPPLIER, E.O.R., BUILDER AND OWNER.

4. FOUNDATION DIMENSIONS ARE TO OUTSIDE FACE OF CONCRETE FOUNDATION WALL. EXTERIOR DOOR/WINDOWS ON FOUNDATION PLAN AND FRAMING PLANS ARE TO FACE OF STUDS – INTERIOR DIMENSIONS ARE TO FACE OF STUDS. HOLD-OUTS FOR GARAGE O.H. DROPS AND SERVICE DOOR LOCATIONS TO BE VERIFIED.

5. CEILING AND WALL INSULATION REQUIREMENTS TO BE PER LOCAL CODE. SPRAY FOAM ALL RIM AREAS, SPRAY FOAM INSULATION TO BE A CLOSED CELL SPRAY FOAM. FIRE BARRIER SEALANT AT ALL PENETRATIONS.

6. HEATING CONTRACTOR TO PROVIDE HEAT LOSS CALCULATIONS.

7. DOOR/WINDOW/CABINET/FIXTURE SCHEDULES ARE AUTO-GENERATED. VERIFY SIZES, TYPE, QUANTITY AND LOCATIONS. WINDOWS & PATIO DOORS TO HAVE CLAD EXTERIOR, LOW E2 W/ ARGON, SDL'S AS PER PLAN HARDWARE TO BE DETERMINED. INTERIOR DOORS – TRUSTILE TS3300 OR EQUAL, STICKING TO BE DETERMINED. FRONT DOOR TRUSTILE OR EQUAL W/ ROUND TOP TO LINE UP WITH SIDELIGHTS. GARAGE DOORS TO BE DETERMINED. COORDINATE WITH E.O.R. IF WINDOWS AND DOOR SIZES ARE DIFFERENT THAN PLAN.

8. HYDRONIC IN-FLOOR HEATING TO BE INSTALLED IN LOWER LEVEL WHERE INDICATED, MAIN LEVEL GARAGE AND MASTER BATHROOM.

9. ALL LOADS AND FORCES, INCLUDING BUT NOT LIMITED TO, WIND, SNOW, SEISMIC (WHERE APPLICABLE) HEADERS, BEAMS, STUDS, COLUMNS, TALL/NARROW WALL REQUIREMENTS, FOOTING SIZES, C.I.P. WALL SIZES, CONNECTORS, REINFORCEMENT AND CONCRETE STRENGTH AND TYPE TO BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER WITH A LICENSE IN THE STATE OF CONSTRUCTION.

10. SMOKE ALARMS & CO DETECTORS REQUIRED IN ACCORDANCE WITH CURRENT CODE AND NOT SHOWN ON PLAN.

11. ALL ENGINEERED TRUSSES BY TRUSS DESIGNER/SUPPLIER TO PROVIDE DESIGN, CONNECTION AND LOADING DIAGRAMS, WHERE APPLICABLE, ROOF TRUSS DESIGN WILL INCLUDE WIND AND SNOW LOADS AND FLOOR TRUSS DESIGN WILL INCLUDE ADDED WEIGHT DUE TO APPLICATIONS OF CULTURED STONE VENEER, GRANITE COUNTER TOPS OR GYPCRETE & CERAMIC TILE FLOORING. RECESSED FLOOR IN MASTER BATH FLOOR & ROOF TRUSS FRAMING LAYOUT SHOWN ON PLAN IS PRELIMINARY AND SUBJECT TO DESIGN CHANGES BY TRUSS MFR/SUPPLIER. ANY DISCREPANCIES OR CHANGES TO BE BROUGHT TO THE ATTENTION OF E.O.R. AND THE BUILDER/CONTRACTOR.

12. TRUSS SUPPLIER TO PROVIDE SPACE THROUGH FLOOR TRUSSES FOR HEATING/COOLING DUCTS. TRUSS DESIGN IN MASTER BATHROOM TO ALLOW FOR DROPPED FLOOR.

13. UPPER CHASE IS OFFSET FROM LOWER CHASE. MAINTAIN 1'-0" MIN DISTANCE FROM VALLEY TO LOW SIDE OF CHASE.

14. ALL FLOOR AND ROOF GIRDER TRUSSES, LVLS, JACK/KING STUDS TO BE BLOCKED/POSTED DOWN TO FOUNDATION AND INCLUDED AS PART OF BID, AS WELL AS MISCELLANEOUS LUMBER/LABOR FOR BLOCKING/BRACING PER MFR. SPECS.

15. ALL EXTERIOR/INTERIOR PRODUCTS/MATERIALS/FINISHES ARE TO BE SPECIFIED BY OWNER AND THESE INCLUDE BUT ARE NOT LIMITED TO: CULTURED STONE, SIDING, TRIM, ROOFING, FLOORING, PAINT, CABINETS, COUNTERS, FIREPLACES, HARDWARE, LIGHTING AND LOCATION OF OUTLETS, SWITCHES AND ALL PLUMBING FIXTURES.

16. RADON MITIGATION TO BE DESIGNED AND INSTALLED BY QUALIFIED RADON MITIGATION SPECIALIST IN CONJUNCTION WITH PERIMETER DRAIN TILE & SUMP PIT AND INCLUDED AS PART OF BID.

17. FINAL PLAN LAYOUT, EXTERIOR AND INTERIOR DIMENSIONS, AS WELL AS VERTICAL DIMENSIONS AND INTERIOR AND EXTERIOR ELEVATIONS WILL BE COORDINATED WITH EXISTING SITE CONDITIONS PER SURVEYED SITE PLAN, STRUCTURAL DESIGN, TIMBER FRAMING DESIGN WHERE APPLICABLE AND TRUSS DESIGN REQUIREMENTS.

18. CULTURED STONE VENEER/SIDING/PONY WALLS ON SIDES OF HOUSE ALONG WITH EXTENTS OF FULL HEIGHT CAST IN PLACE CONCRETE WALLS TO BE COORDINATED WITH SITE PLAN WHEN ONE IS PROVIDED WITH PROPOSED FINISHED GRADING.

19. INTERIOR FOOTINGS NOT SUBJECT TO FREEZE/THAW MAY BE THICKENED SLAB – SIZE & REINF. BY STRUCTURAL.

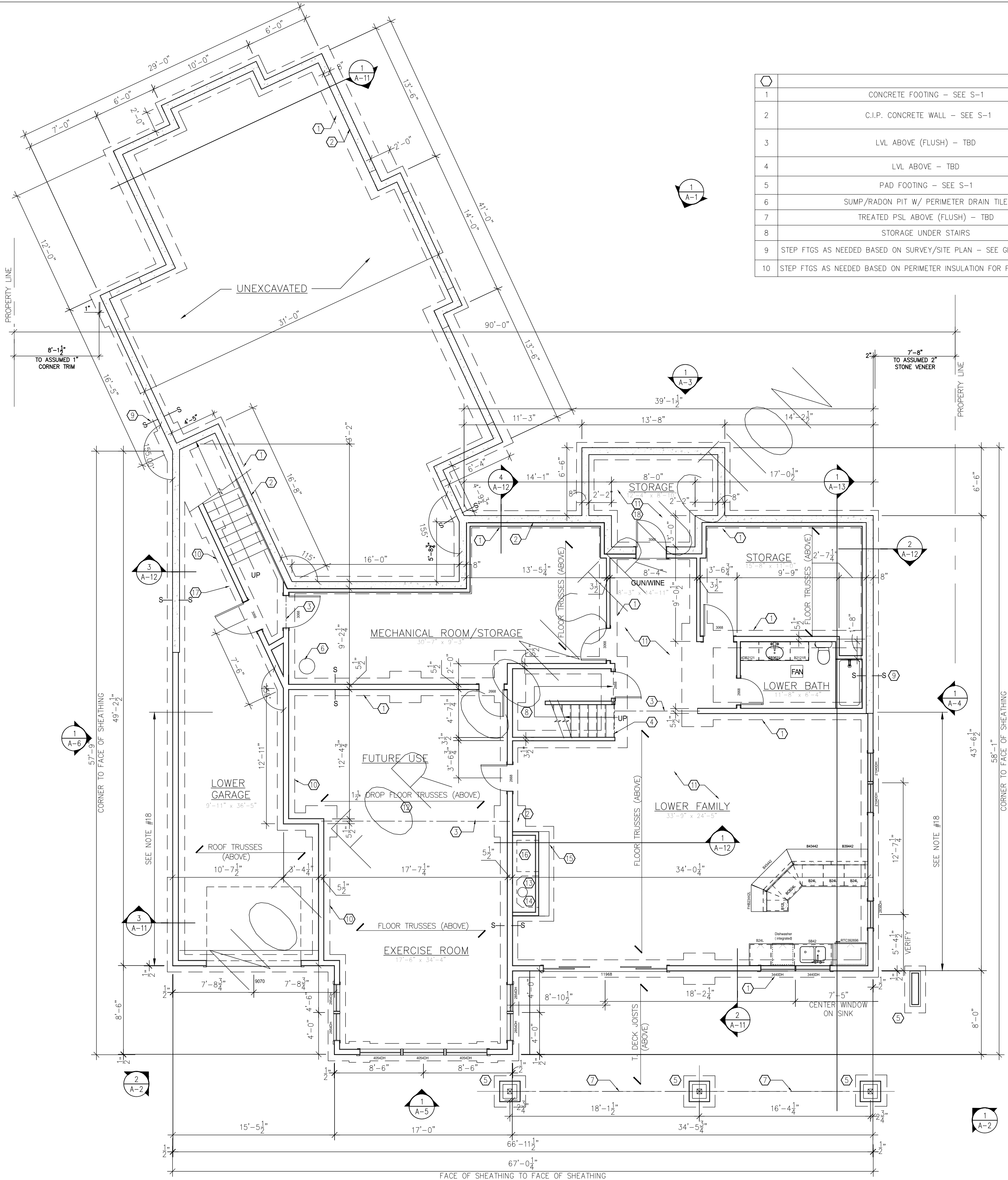
20. OWNER REQUESTED FLOOR DRAINS IN GARAGE. FINAL DESIGN WILL MEET LOCAL ORDINANCE & STATE CODE FOR SUCH SYSTEM AND BE SUBMITTED AND REVIEWED BY LOCAL AND/OR STATE OFFICIAL PRIOR TO INSTALLATION. ACTUAL DRAINAGE SYSTEM INSTALLATION TO BE INSPECTED AND PASSED.

21. CULTURED STONE TO BE SET 6" ABOVE GRADE OR RUN BELOW GRADE W/ RIGID INSULATION UPHEAVAL PROTECTION EXTENDING BELOW FROST LINE.

22. FIREPLACES AND CHASE DESIGN/SIZE IS SUBJECT TO CHANGE BASED ON TRUSS DESIGN, STRUCTURAL REQUIREMENTS, STATE AND LOCAL CODE. AND FIREPLACE/FLUE CLEARANCES AND SPECIFICATIONS.

REVISION C CHANGES:

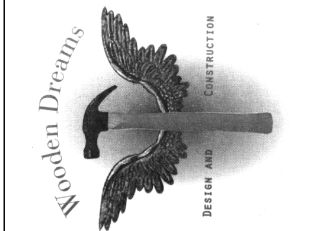
1. EXTERIOR ELEVATIONS – REMOVED TRANSOM WINDOWS.
2. ROTATED GARAGE 5'.
3. CLEANED UP DIMENSIONS.
4. CHANGED STAIRWAY TO OPEN RAILING.
5. CHANGED ALL DOOR S TO 6'-8" HIGH – VERIFY.
6. REMOVED CABINETRY AND BENCH IN ENTRY.
7. GENERAL CLEAN UP OF PLANS.



KEY NOTES			
1	CONCRETE FOOTING – SEE S-1	11	HYDRONIC IN-FLOOR HEATING WHERE NOTED
2	C.I.P. CONCRETE WALL – SEE S-1	12	TRUSS DESIGNER TO DROP TRUSSES IN MASTER BATH AREA 1½" FOR GYPCRETE AND ALLOW FOR ADDED WEIGHT, SEE GENERAL NOTE #11 & KEY NOTE #19 & #23 MAIN LEVEL
3	LVL ABOVE (FLUSH) – TBD	13	WOOD BURNING FIREPLACE INSERT TBD BY OWNER, SEE GENERAL NOTE #22
4	LVL ABOVE – TBD	14	TIMBER MANTEL – TBD BY OWNER
5	PAD FOOTING – SEE S-1	15	THICKENED SLAB – SEE S-1
6	SUMP/RADON PIT W/ PERIMETER DRAIN TILE	16	WOOD STORAGE SPACE –VERIFY
7	TREATED PSL ABOVE (FLUSH) – TBD	17	FROST FTG W/ CURB
8	STORAGE UNDER STAIRS	18	SIKA WATERSTOPS OR EQ. AS NEEDED
9	STEP FTGS AS NEEDED BASED ON SURVEY/SITE PLAN – SEE GENERAL NOTE #18	–	
10	STEP FTGS AS NEEDED BASED ON PERIMETER INSULATION FOR FROST PROTECTION	–	

1
A-7
WALKOUT LEVEL/FOUNDATION
3/16" = 1'-0"

DESIGN CONCEPT PLANS BY:
WOODEN DREAMS, INC.
1883 SIOUX BLVD.
NEW BRIGHTON, MN 55112 651-636-7645

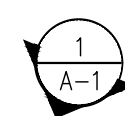


ISSUE/REVISION

A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-7



		KEY NOTES	
1	LVL ABOVE – TBD	11	TIMBER – ABOVE SEE TIMBER DESIGN
2	GIRDER TRUSS BY TRUSS DESIGNER/SUPPLIER OR LVL BY STRUCTURAL ENGINEER	12	PERGOLA – ABOVE
3	LVL ABOVE (FLUSH) – TBD	13	OPEN RAILING – WROUGHT IRON – TBD
4	WIRE RAIL	14	WIND/TALL WALL BRACING O.C. – SEE STRUCTURAL
5	NOOK	15	HYDRONIC IN-FLOOR HEATING IN GARAGE
6	HALF WALL WITH GLASS ABOVE	16	HYDRONIC IN-FLOOR HEATING W/ GYPCRETE, SEE GENERAL NOTE #11
8	ARCH OVER TUB	18	FLOOR DRAIN–TO OIL SEPARATOR & HOLDING TANK – SEE GENERAL NOTE #20
9	LANDING/STAIRS AS NEEDED – AS SPECIFIED BY OWNER	19	MASTER CLOSET AREA TO HAVE ADDITIONAL 2x PLATE FIELD APPLIED TO TRUSS TOP CHORDS PRIOR TO SUBFLOOR
10	ARCH OPENING	20	GAS FIREPLACE INSERT TBD BY OWNER, DEPTH OF CHASE TBD IN ACCORDANCE W/ INSERT REQUIREMENTS, SEE GENERAL NOTE #22
		21	TIMBER MANTEL– TBD BY OWNER
		22	SOFFIT
		23	ADDITIONAL BOT. PLAT AS REQ'D – COORD. W/ TRUSS SUPPLIER FOR RECESSED AREA
		24	CAPPED HALF-HIGH WALL

Wooden Dreams
DESIGN AND CONSTRUCTION

ISSUE/REVISION	
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

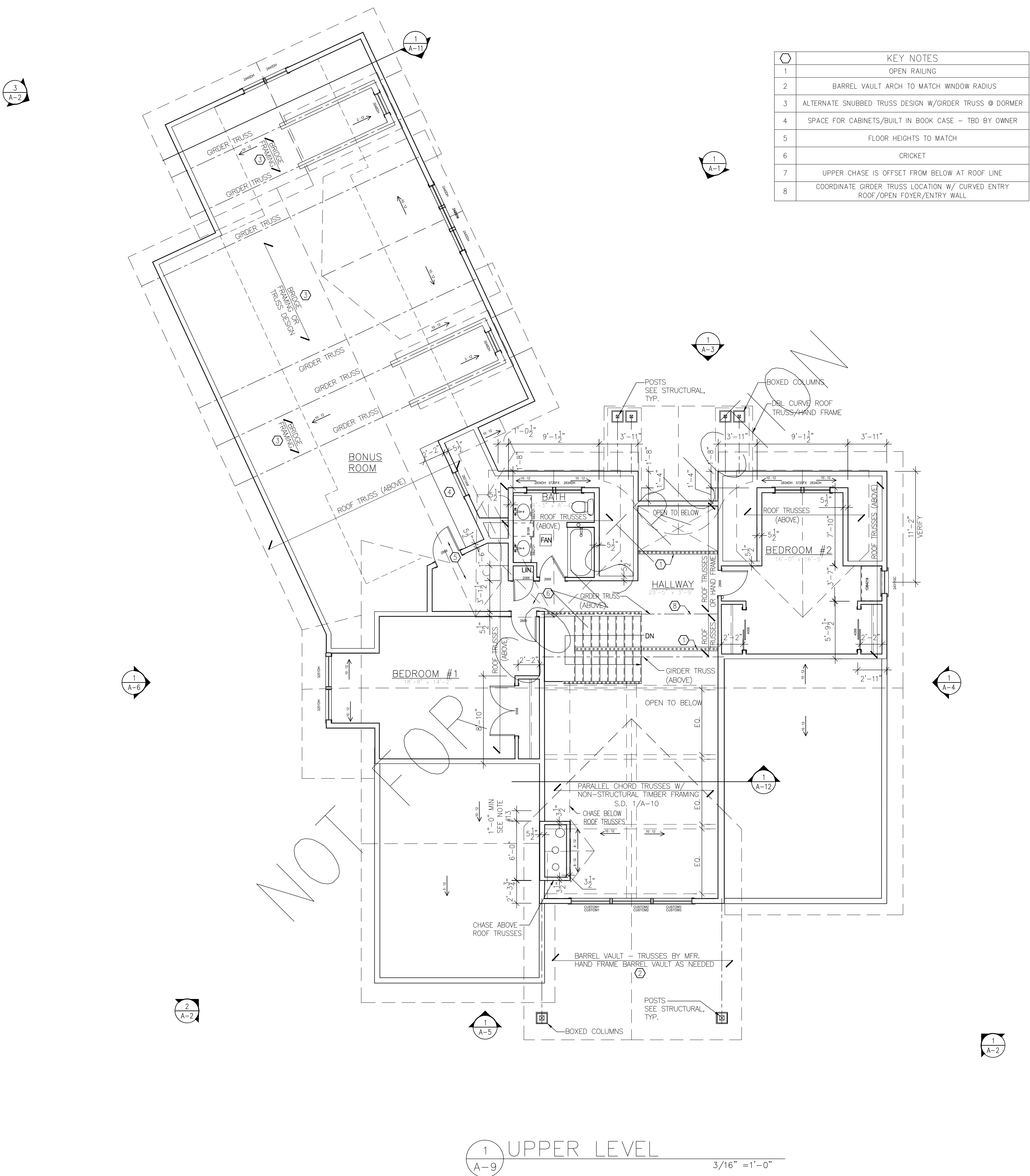
NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

A-8

1 MAIN LEVEL
A-8

$$\frac{3}{16}'' = 1' - 0''$$

BID SET ONLY —
NOT FOR PERMIT
NOT FOR CONSTRUCTION



BID SET ONLY —
NOT FOR PERMIT
NOT FOR CONSTRUCTION

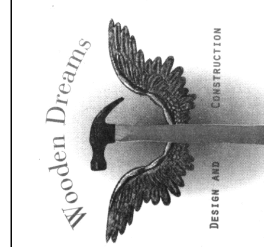


1
A-10

TIMBER FRAMING REFERENCE

NO SCALE

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

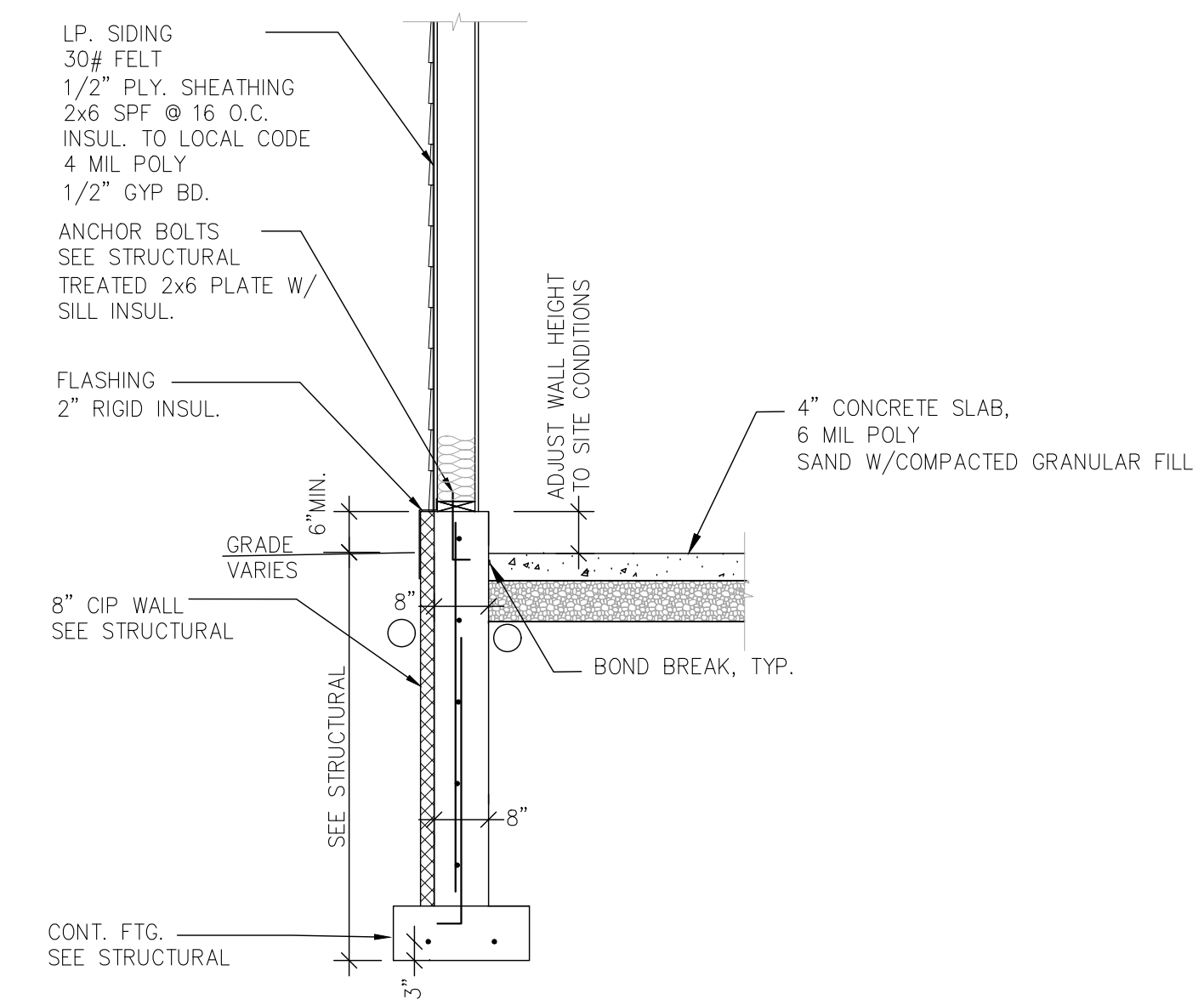
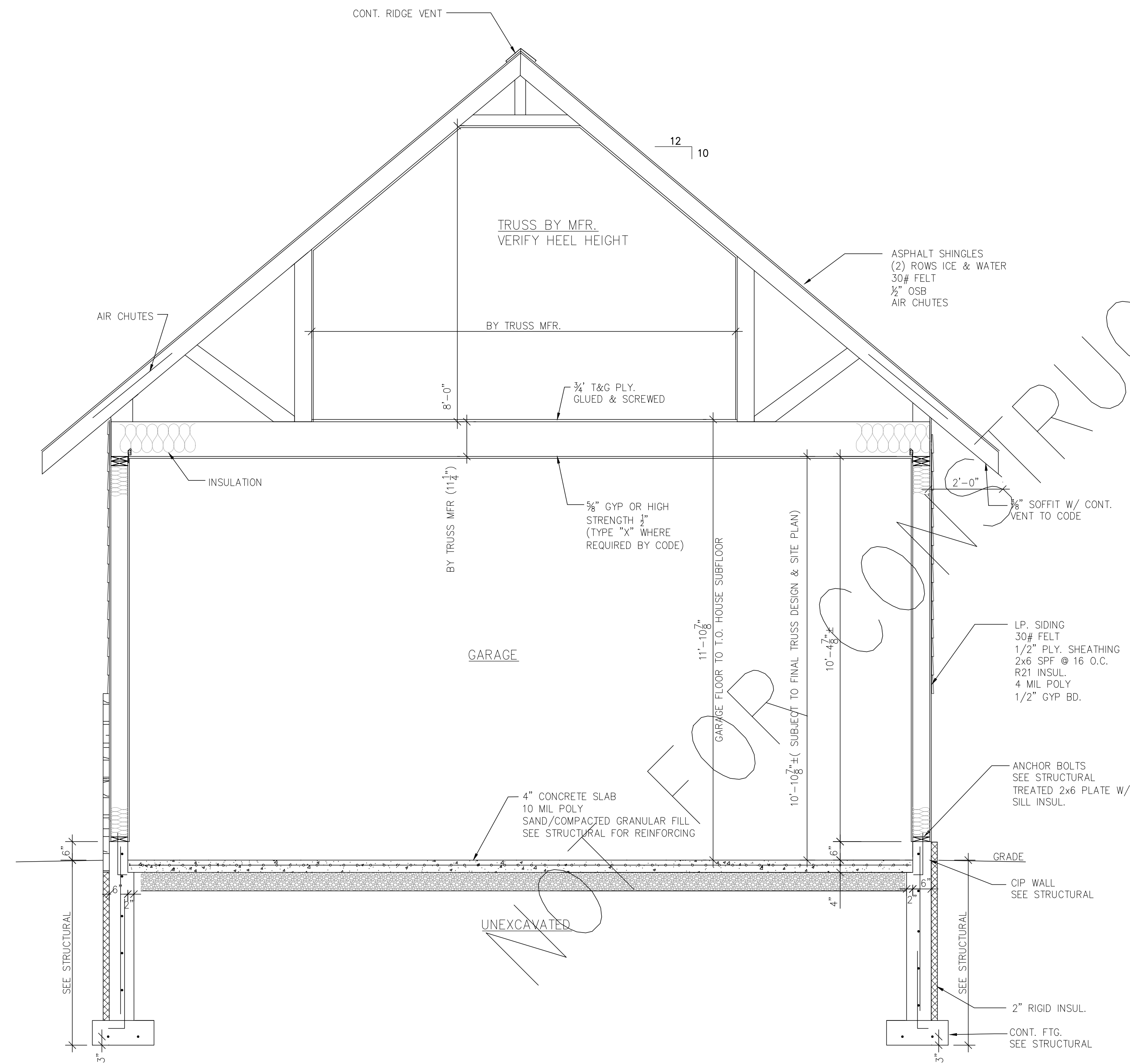


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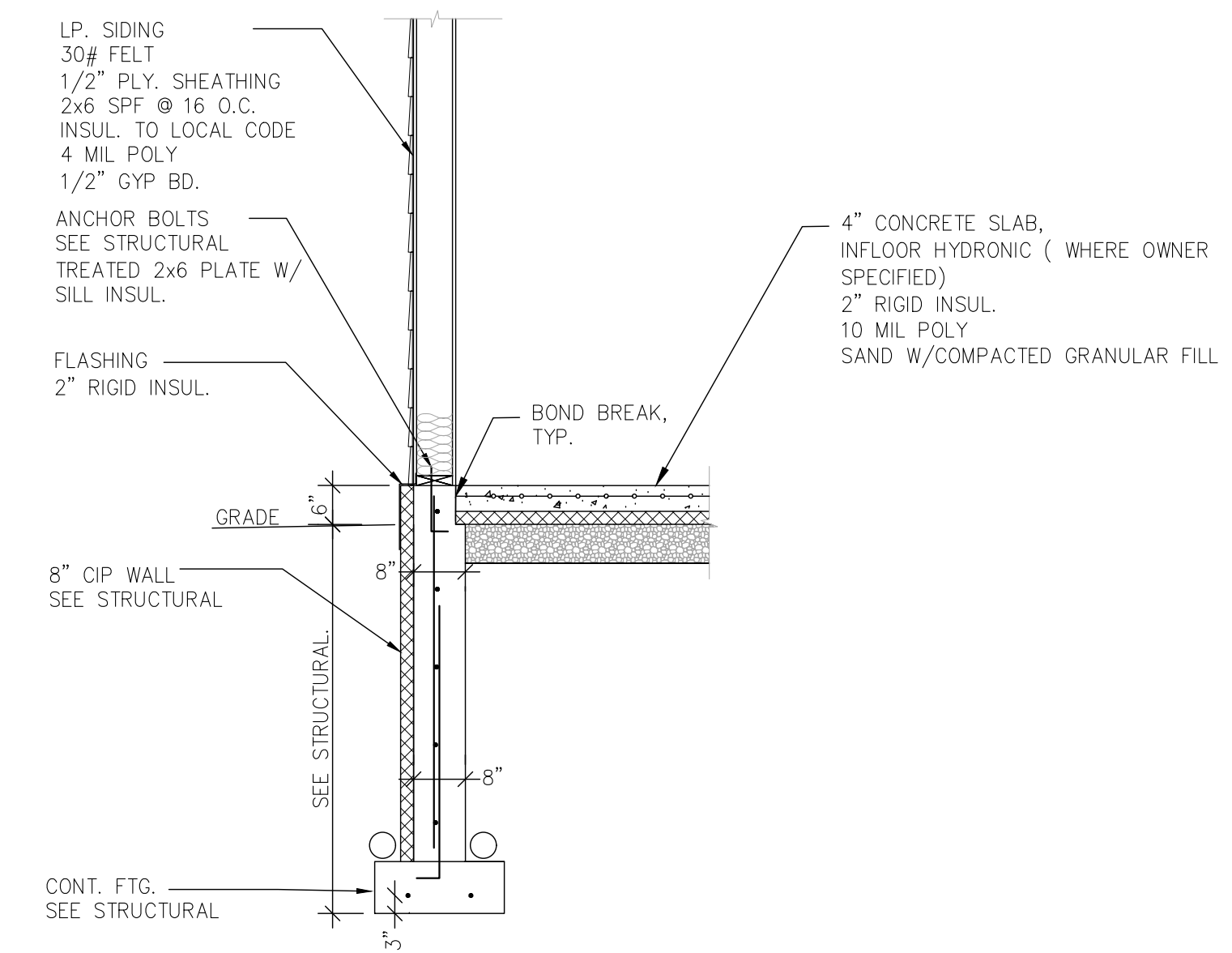
ISSUE/REVISION	
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

A-10

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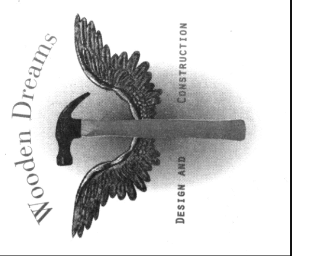


3 SECTION 1/2"=1'-0"



2 SECTION 1/2"=1'-0"

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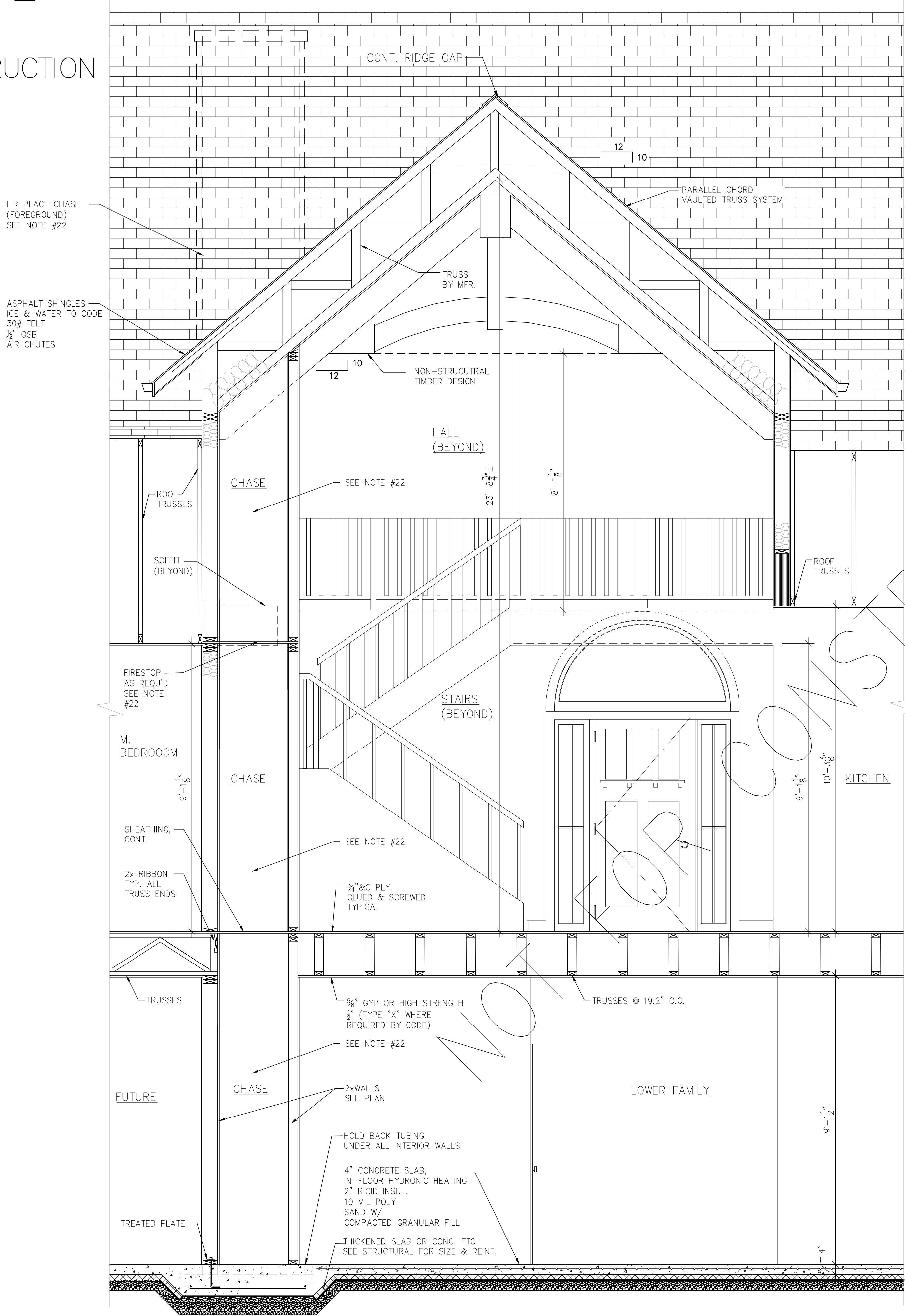


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C	2/9/24 BID SET

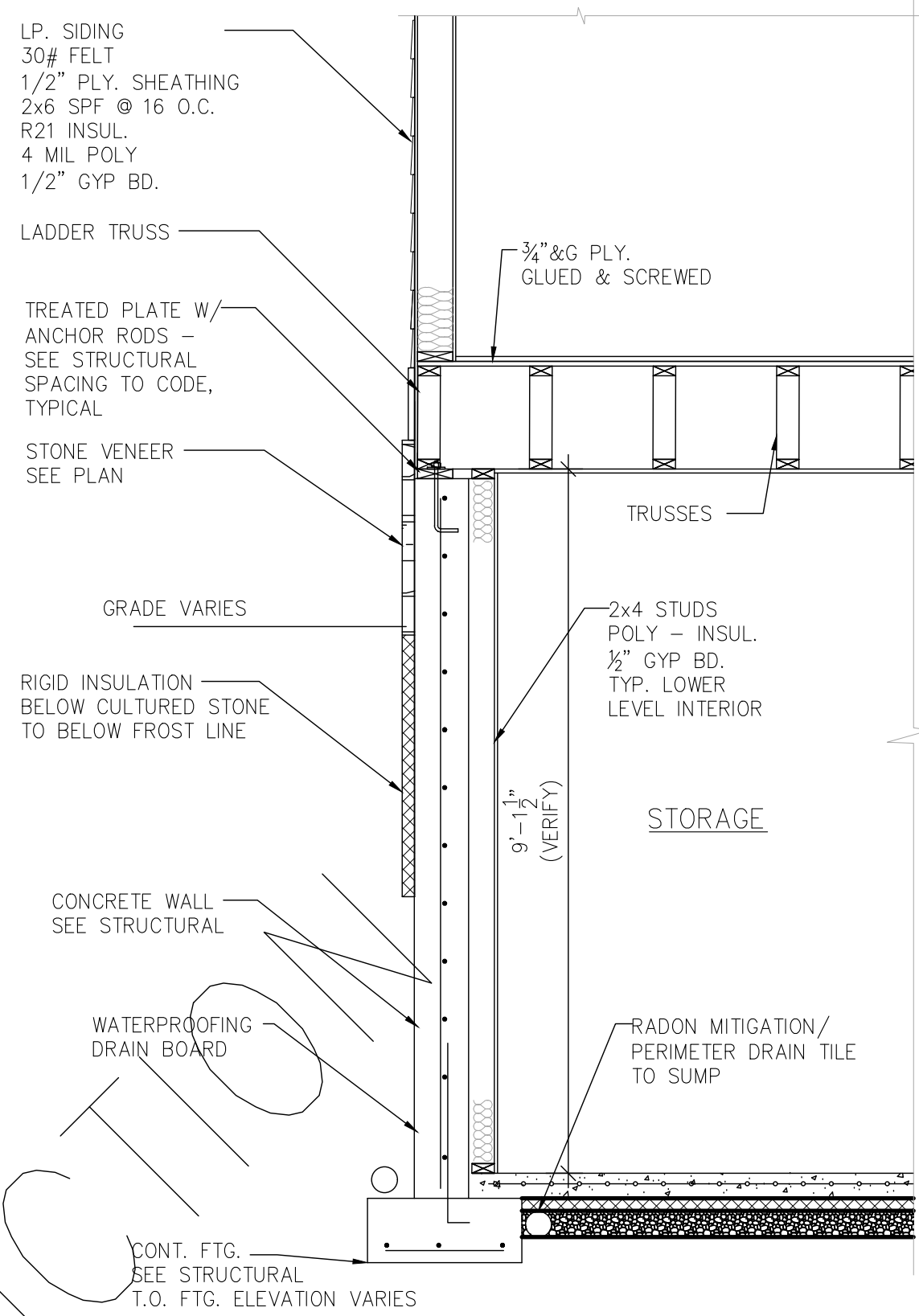
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RANDOM LAKE, WISCONSIN

A-11

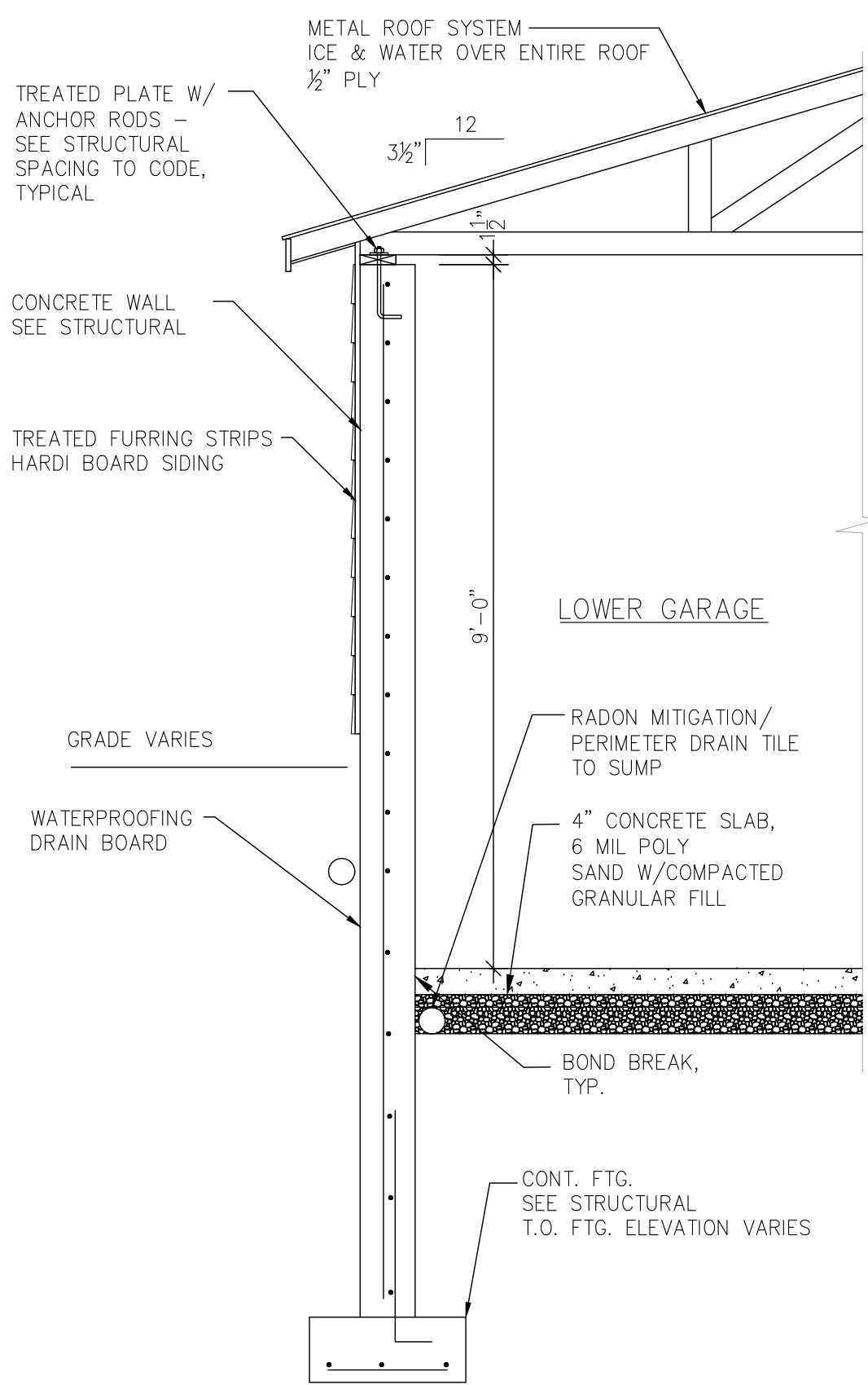
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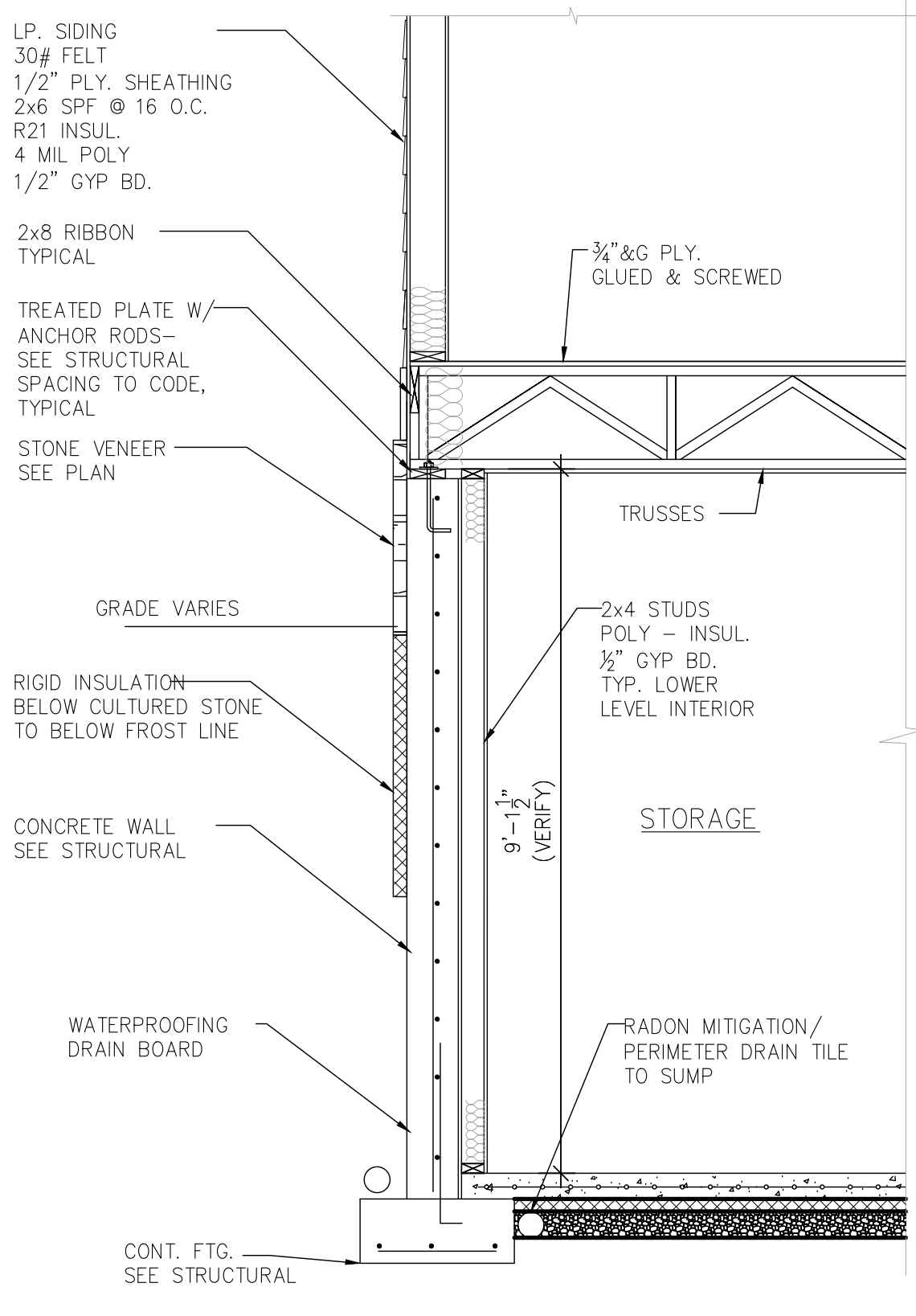
1 SECTION
A-12 1/2"=1'-0"



2 SECTION
A-12 1/2"=1'-0"



3 SECTION
A-12 1/2"=1'-0"



4 SECTION
A-12 1/2"=1'-0"

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C	2/9/24 BID SET

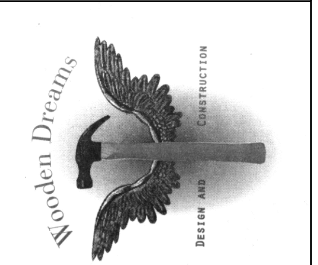
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RANDOM LAKE, WISCONSIN

A-12

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NEW HOME:
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RANDOM LAKE, WISCONSIN

A-13

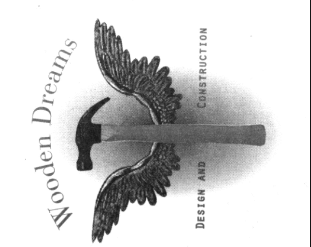
BID SET ONLY –
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NOT FOR CONSTRUCTION

CABINET SCHEDULE									
LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
DB4818	1	2	48 "	24 "	18 "	BASE CABINET			
DB4840	2	1	40 "	24 "	36 "	BASE CABINET			
4DR2121	1	0	21 "	21 "	36 "	BASE CABINET			
4DR24	1	1	24 "	24 "	36 "	BASE CABINET			
4DR36	1	1	36 "	24 "	36 "	BASE CABINET			
B128	1	0	12 "	24 "	36 "	BASE CABINET			
B132018	3	1	13 "	19 3/4 "	18 "	BASE CABINET			
B15R	1	2	15 "	24 "	36 "	BASE CABINET			
B2121R	1	0	21 "	21 "	36 "	BASE CABINET			
B241818	4	1	24 "	18 "	18 "	BASE CABINET			
B24R	3	0	24 "	24 "	36 "	BASE CABINET			
B24R	3	1	23 7/8 "	24 "	36 "	BASE CABINET			
B24R	1	1	24 "	24 "	36 "	BASE CABINET			
B27	1	0	27 "	24 "	36 "	BASE CABINET			
B27	3	1	27 "	24 "	36 "	BASE CABINET			
B36	2	1	36 "	24 "	36 "	BASE CABINET			
B39	1	1	39 "	24 "	36 "	BASE CABINET			
B39442	1	0	39 "	4 "	42 "	BASE CABINET			
B43442	1	0	42 9/16 "	4 "	42 "	BASE CABINET			
B45442	1	0	45 "	4 "	42 "	BASE CABINET			
B542172	1	1	54 1/4 "	21 "	72 "	BASE CABINET			
B552172	1	1	55 "	21 "	72 "	BASE CABINET			
BCR24R	1	0	24 "	24 "	36 "	BASE CABINET			
DCW2454R	1	1	24 "	24 "	54 "	CORNER WALL CABINET			
FHR2442R	1	0	23 3/16 "	4 "	42 "	BASE CABINET			
FHR2412R	5	1	24 "	12 "	36 "	BASE CABINET			
LCB36R	1	1	36 "	36 "	36 "	CORNER BASE CABINET			
RTC392696	1	0	39 "	25 1/2 "	96 "	UTILITY CABINET			
SR24R	1	1	23 13/16 "	24 "	36 "	BASE CABINET			
SB3121	2	2	31 "	21 "	36 "	BASE CABINET			
SB33	1	1	33 "	24 "	36 "	BASE CABINET			
SB36	1	0	36 "	24 "	36 "	BASE CABINET			
SB36	1	1	36 "	24 "	36 "	BASE CABINET			
SB3621	1	0	36 "	21 "	36 "	BASE CABINET			
SB3621	2	1	36 "	21 "	36 "	BASE CABINET			
SR42	1	1	42 "	24 "	36 "	BASE CABINET			
SR4221	1	1	42 "	21 "	36 "	BASE CABINET			
U3022108	1	1	30 "	22 "	108 "	UTILITY CABINET			
U302490	1	1	30 "	24 "	90 "	UTILITY CABINET			
U302496	2	1	30 "	24 "	96 "	UTILITY CABINET			
U311890	1	1	30 11/16 "	18 "	90 "	UTILITY CABINET			
U3312108	3	1	33 "	12 "	108 "	UTILITY CABINET			
U442696	1	1	44 "	25 1/2 "	96 "	UTILITY CABINET			
W1254R	1	1	12 "	12 "	54 "	WALL CABINET			
W2420	4	1	24 "	12 "	20 "	WALL CABINET			
W2436R	2	0	24 "	12 "	36 "	WALL CABINET			
W24421	1	1	24 "	12 "	42 "	WALL CABINET			
W2442R	1	1	24 "	12 "	42 "	WALL CABINET			
W2458	4	1	24 "	12 "	58 "	WALL CABINET			
W3042	3	1	30 "	12 "	42 "	WALL CABINET			
W3342	2	1	33 "	12 "	42 "	WALL CABINET			
W3354	1	1	33 "	12 "	54 "	WALL CABINET			
W3642	1	1	36 "	12 "	42 "	WALL CABINET			
W3654	3	1	36 "	12 "	54 "	WALL CABINET			
W3D3072	1	1	30 "	12 "	72 "	WALL CABINET			

FIXTURE SCHEDULE									
LABEL	QTY	FLOOR	WIDTH	DEPTH	HEIGHT	CODE	MANUFACTURER	COMMENTS	
BUILT-IN REFRIGERATOR	1	0	42 "	23 3/4 "	79 3/8 "				
DISHWASHER (INTEGRATED 2)	2	1	23 11/16 "	23 "	30 1/2 "				
DISHWASHER (INTEGRATED)	1	0	23 5/16 "	23 "	30 1/2 "				
DRYER (CURVED)	1	1	27 "	33 3/16 "	38 "				
FLAT HOOD	1	1	48 "	19 11/16 "	29 9/16 "				
GAS 1 1/2 RANGE	1	1	48 "	24 3/4 "	39 1/2 "				
OFFSET 33" (UNDERMOUNT) [29 1/8W]	1	0	29 1/8 "	19 3/16 "	23 1/2 "				
OFFSET 32" (UNDERMOUNT) [29 1/8W]	2	1	29 1/8 "	19 3/16 "	23 1/2 "				
OVAL	1	1	62 15/16 "	34 13/16 "	42 1/4 "				
OVAL (UNDERMOUNT) [20W]	1	0	20 "	20 1/2 "	22 5/16 "				
OVAL (UNDERMOUNT) [20W]	3	1	20 "	20 1/2 "	12 5/16 "				
OVAL (UNDERMOUNT) [20W]	2	2	20 "	20 1/2 "	12 5/16 "				
SQUARE (UNDERMOUNT) [17W]	2	1	17 "	17 "	18 5/16 "				
STANDARD (RIGHT) [60W]	1	2	60 "	32 "	32 "				
STANDARD TOILET	1	0	30 "	36 "	28 5/16 "				
STANDARD TOILET	2	1	30 "	36 "	28 9/16 "				
STANDARD TOILET	1	2	30 "	36 "	28 9/16 "				
TUB-SHOWER (SIDE SHELF)	1	0	60 "	12 "	76 "				
UNDERCOUNTER REFRIGERATOR [24]	1	1	24 "	22 "	30 "				
WASHER (CURVED FRONT LOADING)	1	1	27 "	33 3/16 "	38 "				

FINISH SCHEDULE					
LABEL	FLOOR	DESCRIPTION	CODE	MANUFACTURER	COMMENTS
LOWER FAMILY	0	CARPET			
LOWER BATH	0	CERAMIC TILE			
LOWER GAR/POL TABLE	0	CERAMIC TILE			
LOWER GARAGE, STORAGE AREAS, FUTURE, EXERCISE ROOM	0	CONCRETE – SMOOTH FINISH			
STAIRS		CARPET			
GARAGE	1	CONCRETE – SMOOTH FINISH			
OFFICE		CARPET			
MASTER BEDROOM		CARPET			
MASTER CLOSET	1	CARPET			
MASTER BATH	1	CERAMIC TILE			
FOYER	1	VT			
HALLWAY	1	VT			
GREAT ROOM	1	VT			
KITCHEN	1	VT			
PANTRY	1	VT			
LAUNDRY/MUDROOM	1	VT			
BOWDER	1	VT			
STAIRS		CARPET			
HALLWAY	2	CARPET			
BEDROOM #1	2	CARPET			
BEDROOM #2	2	CARPET			
UPPER BATHROOM	2	VT			
BONUS ROOM	2	CARPET			

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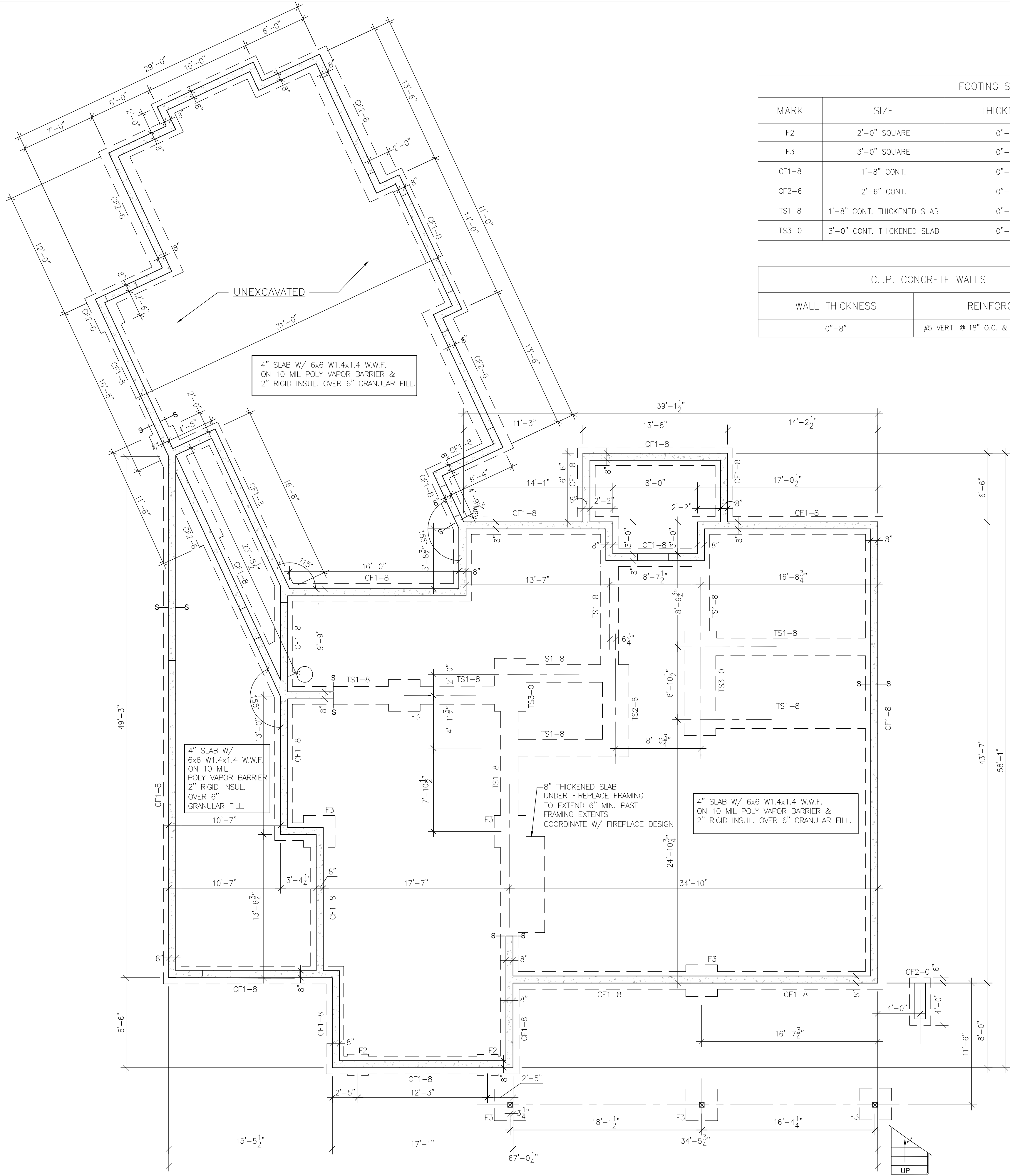


ISSUE/REVISION	
A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

GENERAL NOTES:

1. ALL EXTERIOR WALL FOOTINGS ADJACENT TO HEATED STRUCTURES SHALL HAVE A MINIMUM SOIL COVER OF 4'-0" AND FOOTINGS AT UNHEATED STRUCTURES SHALL HAVE A MINIMUM SOIL COVER OF 5'-0". SOIL COVER IS MEASURED FROM TOP OF FOOTING UNLESS OTHERWISE NOTED.
2. IN LIEU OF SOIL BORINGS, FOOTING HAVE BEEN DESIGNED FOR A MAXIMUM SOIL BEARING PRESSURE OF 1500 PSF. IT WILL BE THE RESPONSIBILITY OF OTHERS TO VERIFY THIS BEARING CAPACITY, TO ENSURE THAT DAMAGING DIFFERENTIAL SETTLEMENT WILL NOT OCCUR.

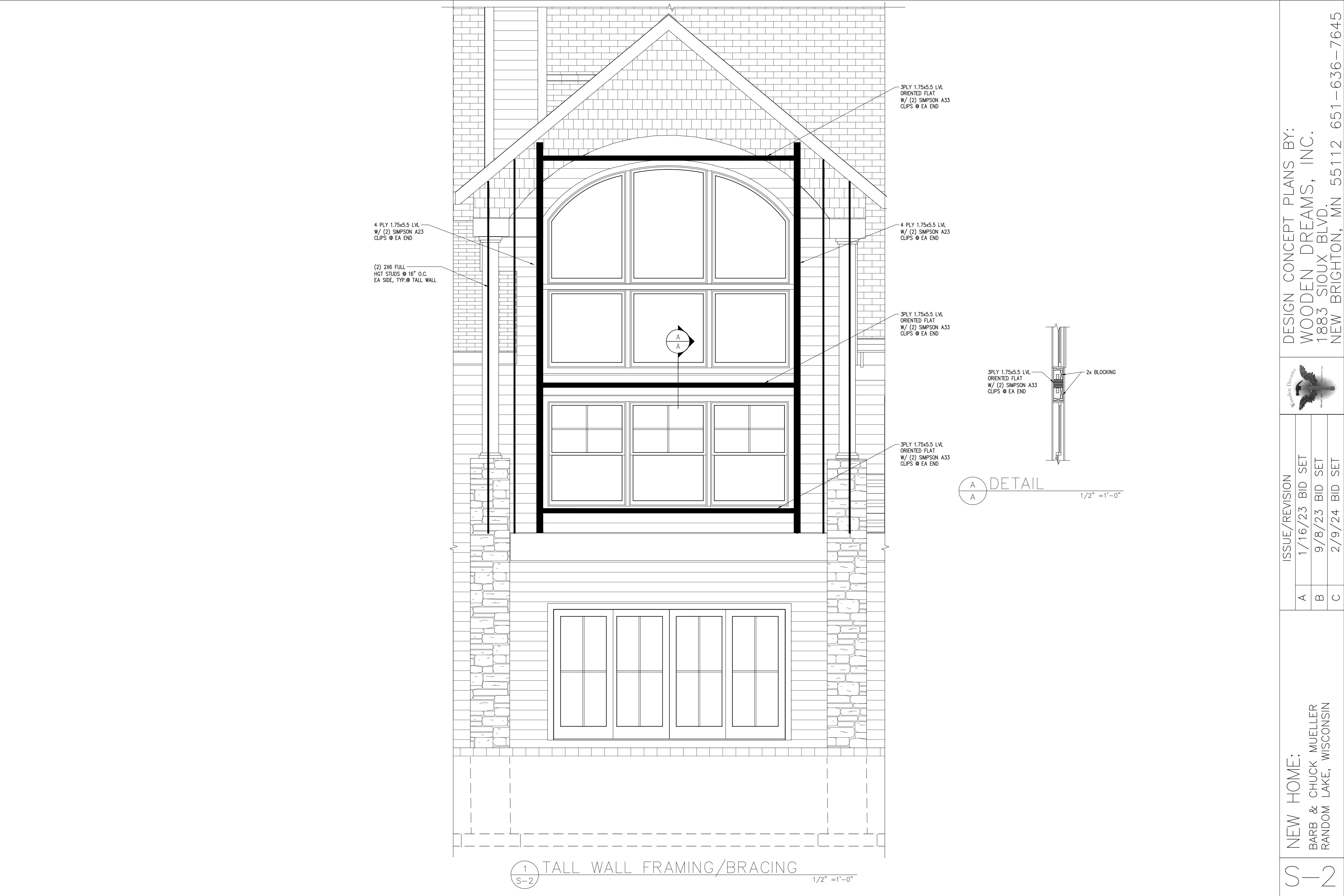


FOOTING SCHEDULE			
MARK	SIZE	THICKNESS	REINFORCEMENT
F2	2'-0" SQUARE	0"-8"	(2) #5 BARS EA WAY TYP., BOT.
F3	3'-0" SQUARE	0"-8"	(3) #5 BARS EA WAY TYP., BOT
CF1-8	1'-8" CONT.	0"-8"	(2) #5 BARS
CF2-6	2'-6" CONT.	0"-8"	(3) #5 BARS
TS1-8	1'-8" CONT. THICKENED SLAB	0"-8"	(2) #5 BARS
TS3-0	3'-0" CONT. THICKENED SLAB	0"-8"	(3) #5 BARS & #5 TRANSVERSE BARS @ 18" O.C.

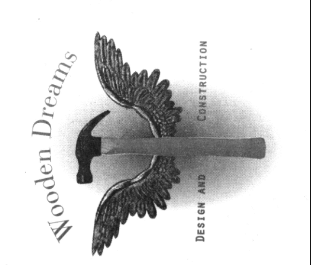
C.I.P. CONCRETE WALLS	
WALL THICKNESS	REINFORCEMENT
0"-8"	#5 VERT. @ 18" O.C. & #5 HORIZ. @ 18" O.C.

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C	2/9/24 BID SET





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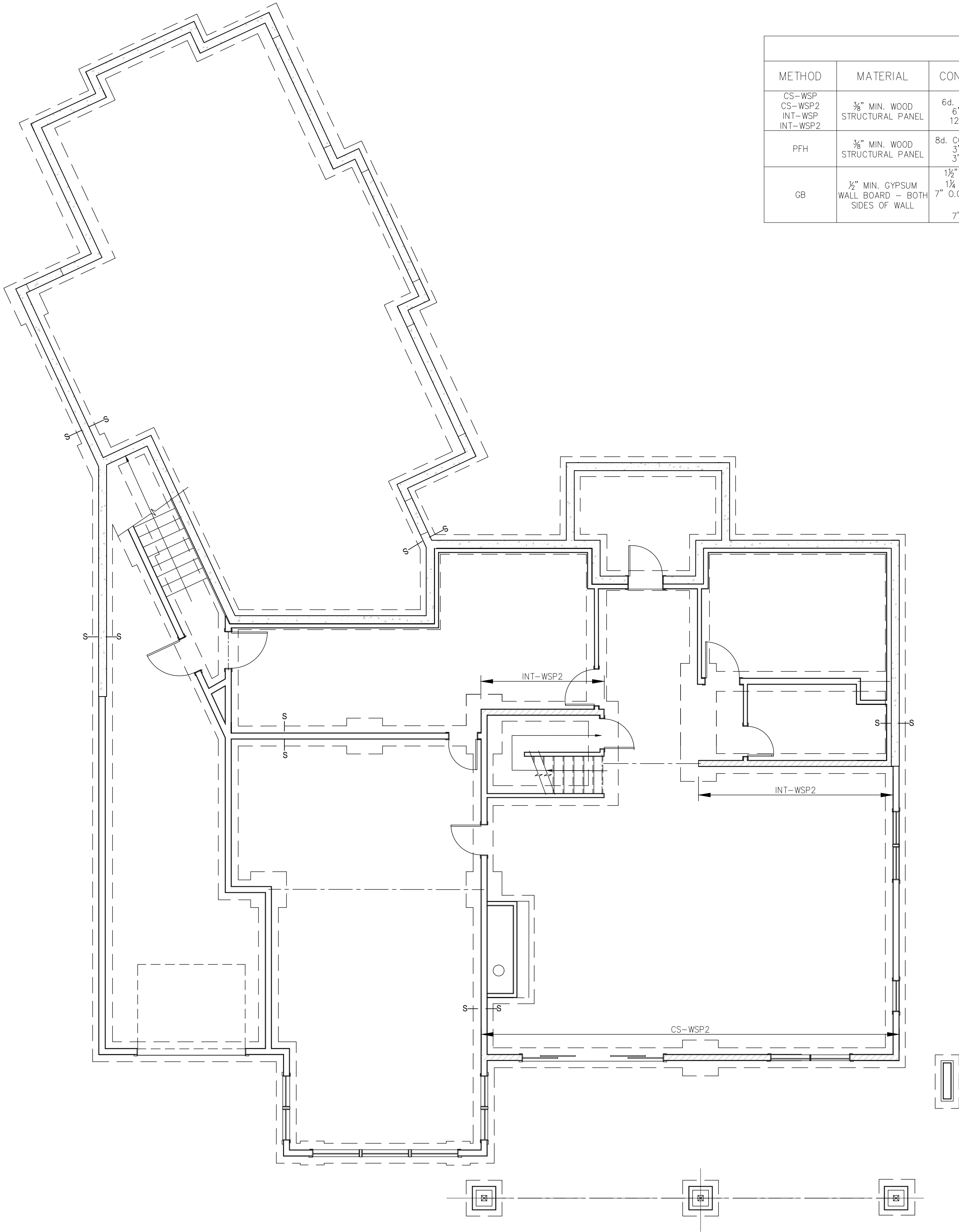


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B	9/8/23 BID SET
C	2/9/24 BID SET

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

WALL BRACING NOTES:

1. CONTINUOUS SHEATHING (CS-WSP) METHODS REQUIRE STRUCTURAL PANEL SHEATHING TO BE USED ON ALL SHEATHABLE SURFACES ON ONE SIDE OF A BRACED WALL LINE INCLUDING AREAS ABOVE AND BELOW OPENINGS AND GABLE END WALLS AND SHALL MEET THE REQUIREMENTS OF SECTION R602.10.7.
2. INTERMITTENT WOOD STRUCTURAL PANEL SHEATHING (INT-WSP) SEE SECTION R604.
3. THE PFH BRACED WALL SHALL BE A PORTAL FRAME WITH HOLD DOWNS, WITH A HEADER AND FASTENING PATTERN SHOWN IN THE PFH FIGURE R602.10.2. SEE DETAIL 1/S6.



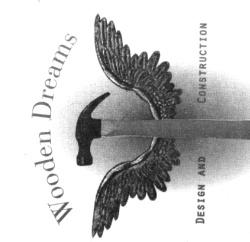
BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/S6		METHOD PFH FIGURE R602.10.6.2, SEE 1/S6
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

1
S-3

LOWER LEVEL BRACING PLAN

3/16" =1'-0"

NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

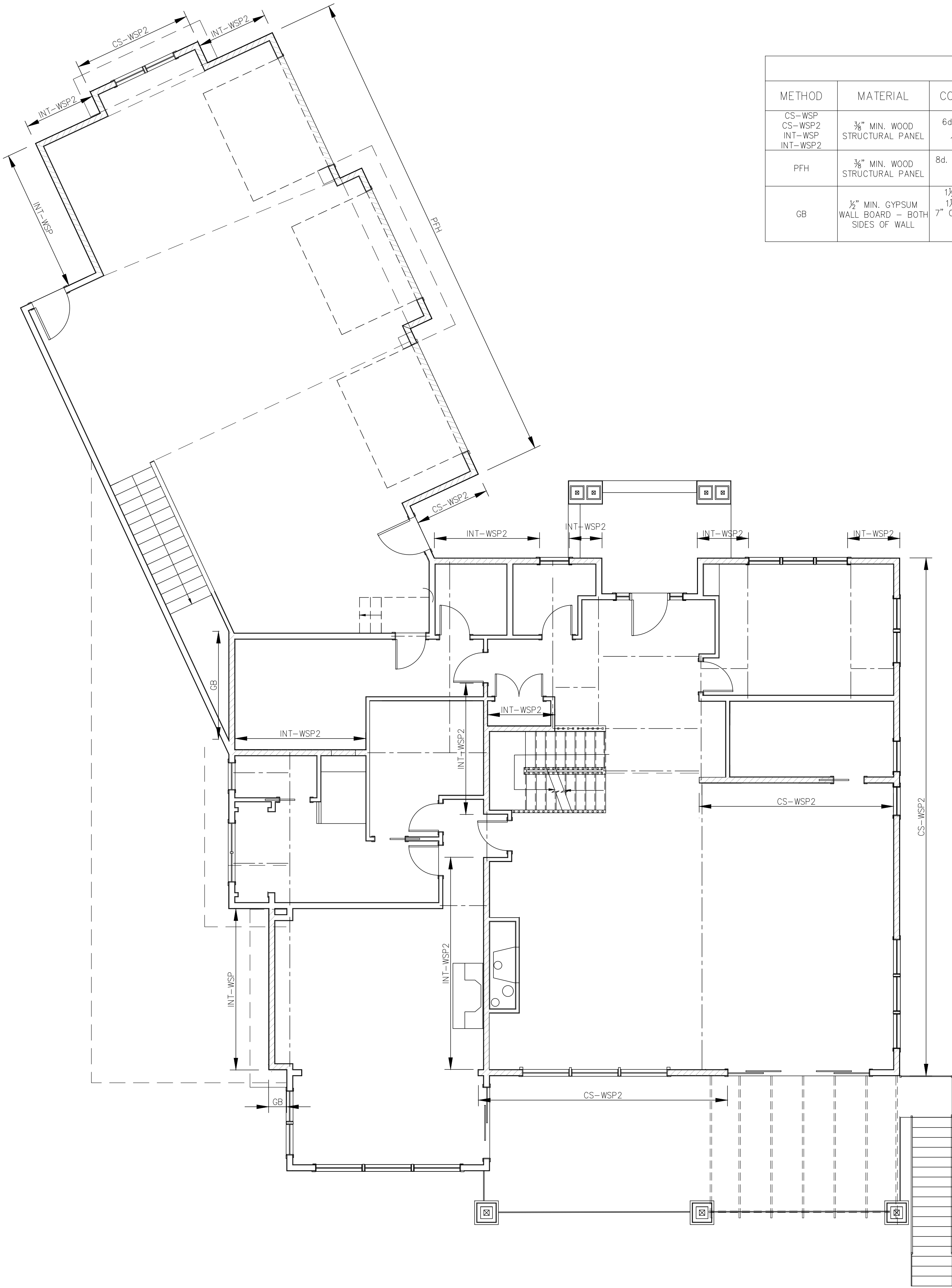


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S-3



BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/S6		METHOD PFH FIGURE R602.10.6.2, SEE 1/S6
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

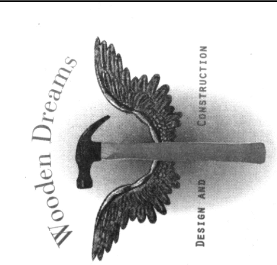
1
S-4

MAIN LEVEL BRACING PLAN

3/16" =1'-0"

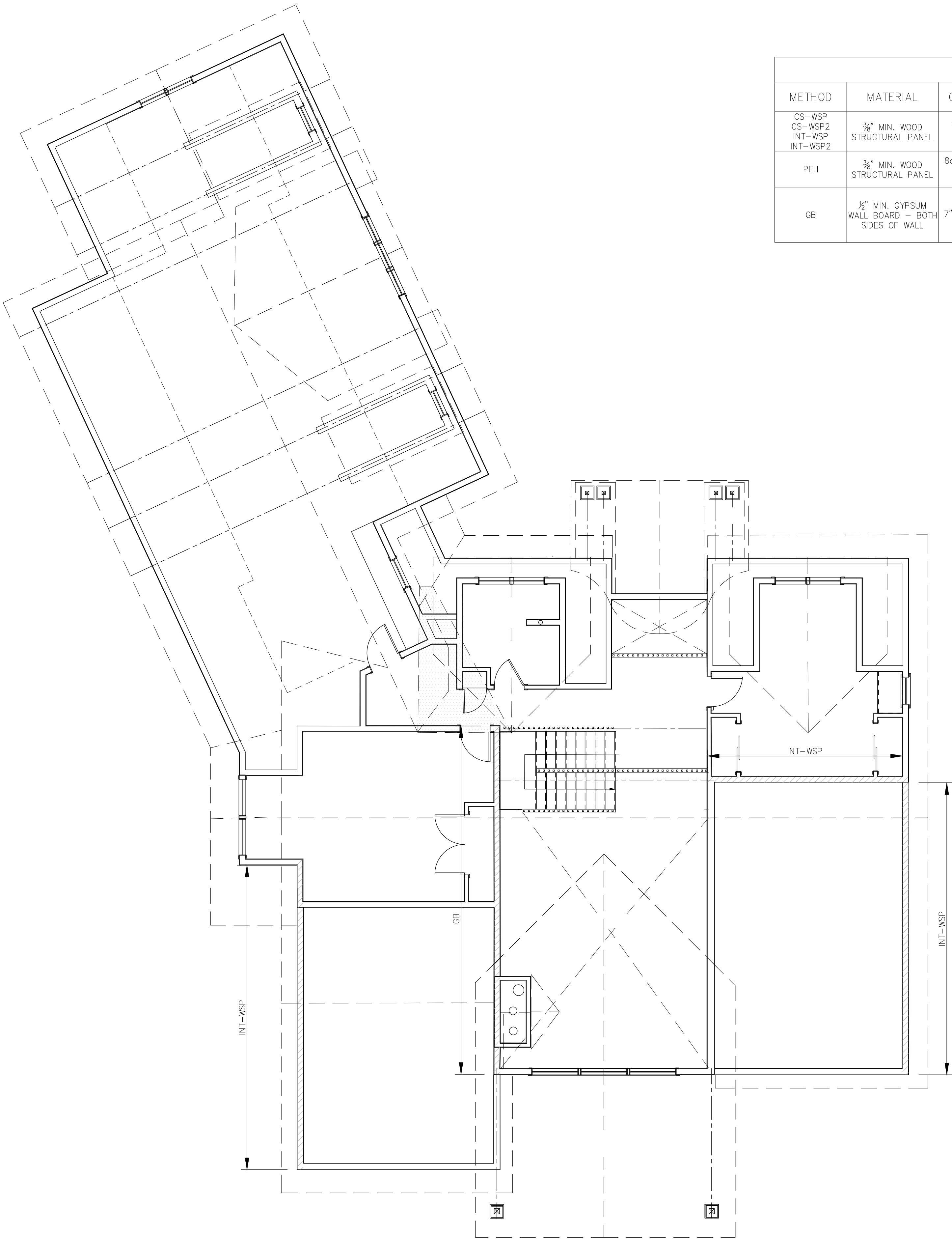
NEW HOME:
BARB & CHUCK MUELLER
RANDOM LAKE, WISCONSIN

S-4



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A	1/16/23 BID SET
B	9/8/23 BID SET
C	2/9/24 BID SET

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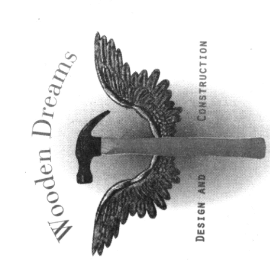


BRACING WALL FASTENING SCHEDULE					
METHOD	MATERIAL	CONNECTION CRITERIA	BLOCKING	INTERIOR	REFERENCE
CS-WSP CS-WSP2 INT-WSP INT-WSP2	3/8" MIN. WOOD STRUCTURAL PANEL	6d. COMMON NAIL (2"x0.12") 6" O.C. EDGE SPACING 12" O.C. FIELD SPACING	BLOCKING @ WSP2 LOCATIONS ONLY	1/2" MIN. GYPSUM WALL BOARD, CONNECTION PER GB CRITERIA	R602.10
PFH	3/8" MIN. WOOD STRUCTURAL PANEL	8d. COMMON NAIL (2.5"x0.134") 3" O.C. EDGE SPACING 3" O.C. FIELD SPACING	WHERE REQUIRED, SEE 1/S6		METHOD PFH FIGURE R602.10.6.2, SEE 1/S6
GB	1/2" MIN. GYPSUM WALL BOARD - BOTH SIDES OF WALL	1 1/2" GALV. ROOF NAILS OR 1 1/4" SCREWS TYPE W OR S 7" O.C. EDGE SPACING (TOP & BOT, PLATE) 7" O.C. FIELD SPACING	NO		R602.10

1
S-5

UPPER LEVEL BRACING PLAN

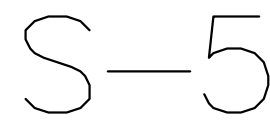
3/16" =1'-0"

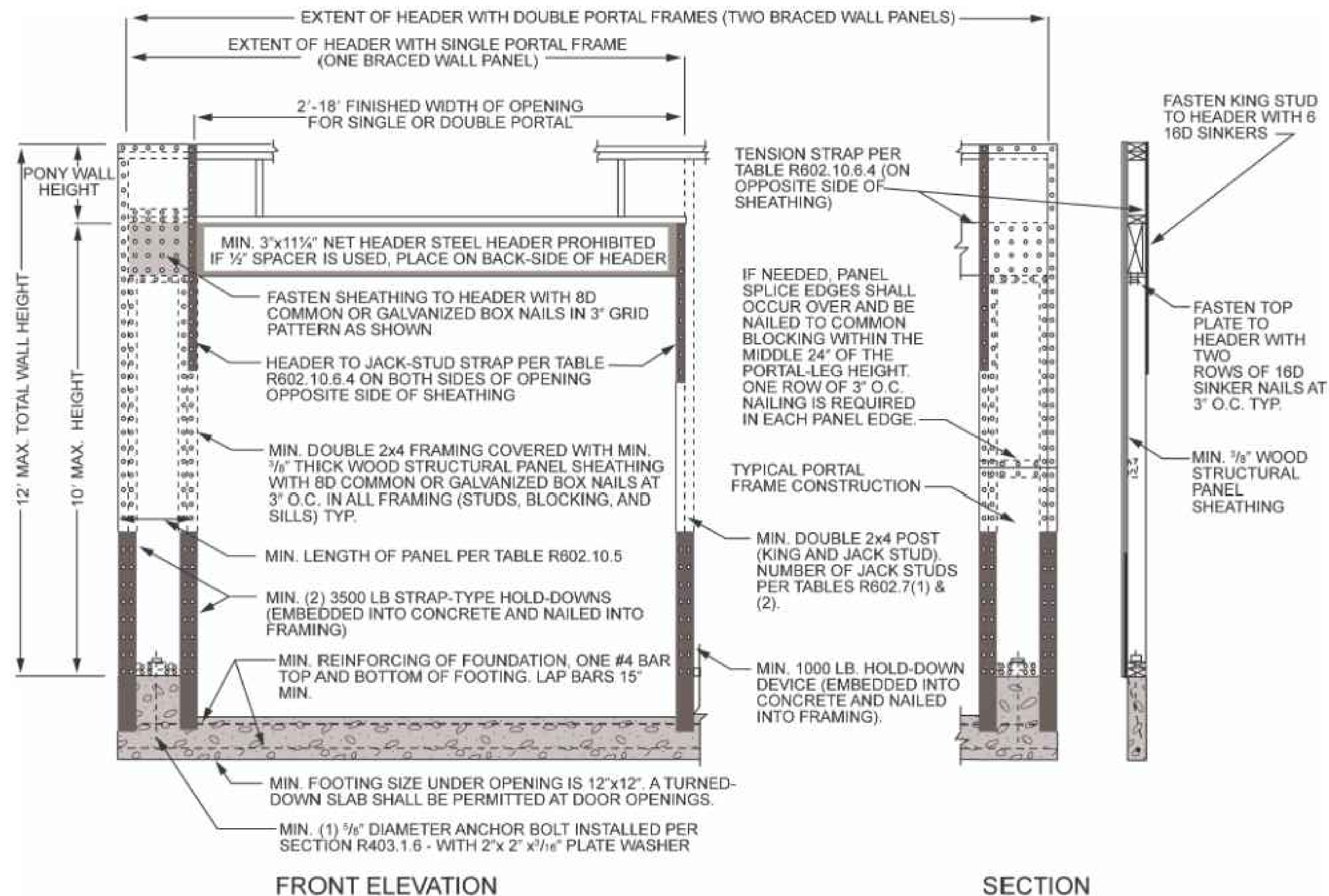


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NEW HOME:
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RANDOM LAKE, WISCONSIN

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FRONT ELEVATION

SECTION

For SI: 1 inch = 25.4 mm, 1 foot = 304.8 mm.

FIGURE R602.10.6.2 METHOD PFH—PORTAL FRAME WITH HOLD-DOWNS

Mueller

New Home Build

Lot 7, East Shore Drive

Exterior Materials:

- Shingles – weathered
 - Asphalt shingles
- Siding - Sand Dunes
 - LP SmartSide
- Trim - Snowscape White
 - LP SmartSide
- Windows – White – Anderson 400 Series
- Steel Roof - Banished Slate – on dormers and rear garage

PLAT OF SURVEY

OWNERS:
CHARLES J. MUELLER
BARBARA J. MUELLER
PO BOX 323
RANDOM LAKE, WI 53075

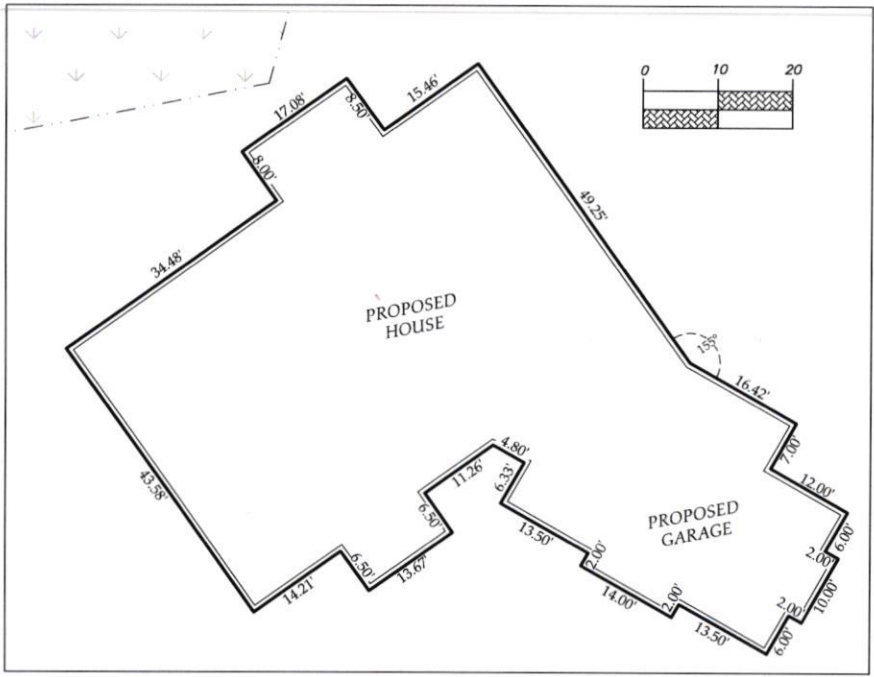
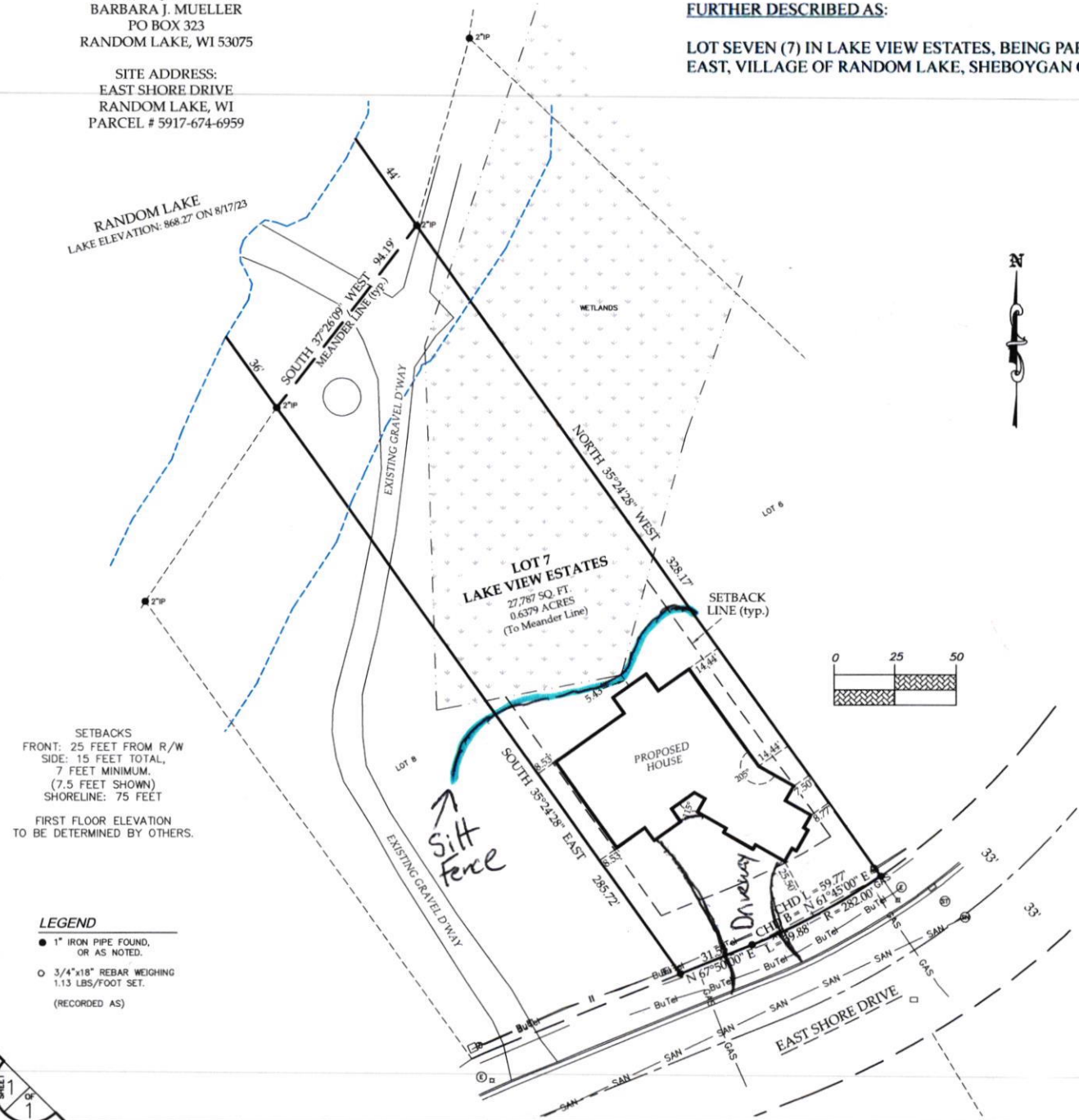
SITE ADDRESS:
EAST SHORE DRIVE
RANDOM LAKE, WI
PARCEL # 5917-674-6959

LEGAL DESCRIPTION

LOT SEVEN (7) IN LAKE VIEW ESTATES, VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN.

FURTHER DESCRIBED AS:

LOT SEVEN (7) IN LAKE VIEW ESTATES, BEING PART OF GOVERNMENT LOT 4, SECTION 26, TOWN 13 NORTH, RANGE 21 EAST, VILLAGE OF RANDOM LAKE, SHEBOYGAN COUNTY, WISCONSIN.



THIS SURVEY IS MADE FOR THE EXCLUSIVE USE OF THE PRESENT OWNER OF THE PROPERTY, AND ALSO THOSE WHO PURCHASE, MORTGAGE OR GUARANTEE THE TITLE THERETO WITHIN 1 YEAR FROM THE DATE HEREON.

I HEREBY CERTIFY THAT I HAVE SURVEYED THE ABOVE DESCRIBED PROPERTY AND THE ABOVE MAP IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY, ITS EXTERIOR BOUNDARIES, THE LOCATION AND DIMENSION OF ALL VISIBLE STRUCTURES THEREON, FENCES, APPARENT EASEMENTS, ROADWAYS AND VISIBLE ENCROACHMENT, IF ANY, AND THAT I HAVE COMPLIED WITH WISCONSIN CHAPTER A-E 7.

SURVEYED BY JOSEPH W. DAVID
MAPPED BY J. SCOTT HENKEL, PLS



122 Wisconsin Street, West Bend, WI 53095
262.346.7800 kparish@parishse.com
FN: H-23-23 Date: 2/07/24